



NORTON BUILDING MODERNIZATION

DESIGN DEVELOPMENT

09/07/2023

LMN Architecture
Urban Design
Interiors

801 Second Avenue, Suite 501
Seattle, Washington 98104
T 206 682 3400
F 206 343 9388
www.lmnarchitects.com

LMN Proj No 22004-01



NORTON BUILDING MODERNIZATION

801 Second Ave
Seattle, WA 98104

Submital

DESIGN DEVELOPMENT

Revisions

Date	Description
08/31/2023	PERMIT SUBMITTAL
09/07/2023	DESIGN DEVELOPMENT

Sheet Owner RM
LMN Proj No 22004-01

Date 09/07/2023

Sheet Title

MATERIALS PLAN

Sheet Number

L1.01

MATERIALS PLAN LEGEND

- 1 MORTAR SET GRANITE PAVING
- 2 PRECAST CONCRETE PAVER ON PEDESTAL
- 3 EXISTING PRECAST CONCRETE PAVER ON PEDESTAL
- 4A CIP CONCRETE WALL, 6" THICK
- 4B GRANITE CURB, 9" THICK
- 4C FABRICATED METAL PLANTER WALL
- 5 TRENCH DRAIN, TYP
- 6 WALL MOUNTED PRECAST CONCRETE SEAT
- 7 FREESTANDING GRANITE SEAT
- 8 FREESTANDING PREFABRICATED PLANTER, RANGE OF STANDARD SIZES
- 9 BIKE RACK, TYP OF (3)
- 10 PLANTING AREA OVER STRUCTURE, 18" DEPTH SOIL TYP, 30" DEPTH FOR 8" Ø AT TREES

NEW TREE, TYP. SEE L3.10 FOR SPECIES

MOVEABLE FURNITURE BY OTHERS, TYP.

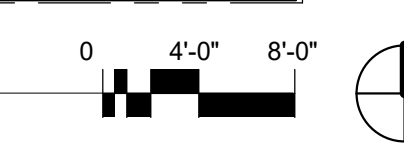
MATERIALS NOTES

1. REFER TO LAYOUT PLANS FOR ALL PLANTER DIMENSIONS (FORTHCOMING).
2. REFER TO LAYOUT PLANS FOR ALL SCORING AND JOINTING OF PAVEMENT AREAS ON SITE (FORTHCOMING).
3. REFER TO L5.01 FOR SITE DETAILS.
4. ALL SITE FURNISHINGS INCLUDING BUT NOT LIMITED TO TABLES, CHAIRS, AND TRASH RECEPTACLES ARE TO BE OWNER FURNISHED AND CONTRACTOR INSTALLED (OFCI), TYP. FINAL LOCATIONS AND QUANTITIES TO BE DETERMINED.
5. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION/INSTALLATION.

COORDINATION NOTES

- LMN OR OTHERS TO CONFIRM THE FOLLOWING:
- STRUCTURAL SLAB ELEVATIONS
 - EGRESS / OCCUPANCY REQUIREMENTS
 - EXISTING PLAZA DRAIN REUSE
 - WATERPROOFING, DRAIN MAT, AND MORTAR SETTING BED
 - SCREEN WALL MATERIAL AND ATTACHMENT
 - ROW GRADES
 - LIGHTING PHOTOMETRICS FOR EGRESS

1 LEVEL 01 MATERIALS PLAN
1/8" = 1'-0"



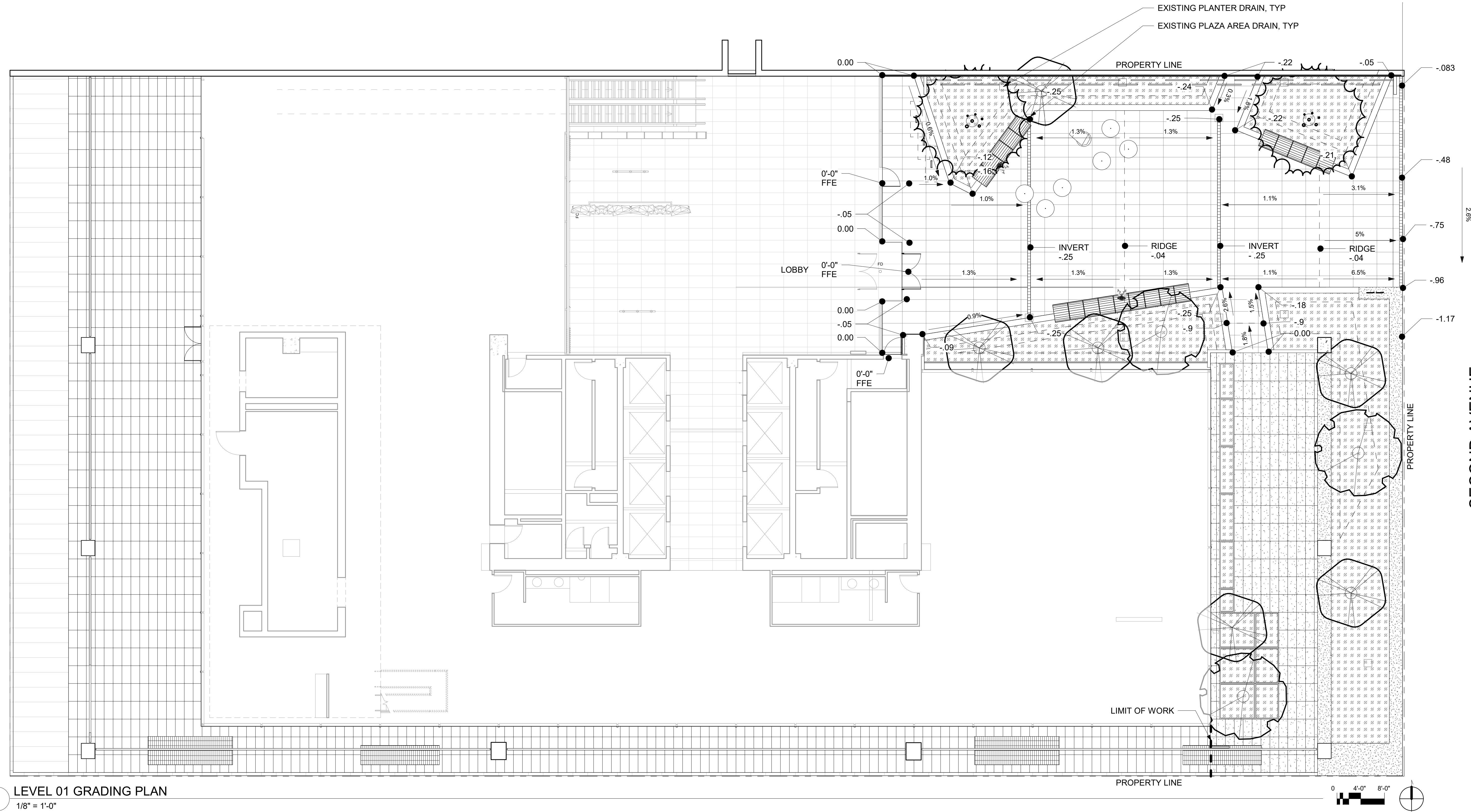


LEGEND - GRADING

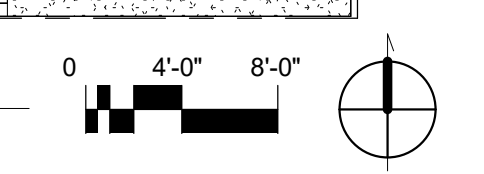
- $FFE XXX.XX$ FINISH FLOOR ELEVATION
- [XXX.XX] ELEVATION AT R.O.W. SEE CIVIL DRAWINGS
- ○ $XXX.XX$ PROPOSED ELEVATION
- ○ $XXX.XX$ CIVIL REFERENCE ELEVATION, SEE CIVIL
- — $TW XXX.XX$ TOP OF WALL ELEVATION
- — $TB XXX.XX$ TOP OF BENCH ELEVATION
- — $TS XXX.XX$ TOP OF STAIR
- — $BS XXX.XX$ BOTTOM OF STAIR
- — $HP XXX.XX$ HIGH POINT OF SOIL ELEVATION
- — $LP XXX.XX$ LOW POINT ELEVATION
- ← $XX %$ PROPOSED SLOPE

GRADING NOTES

1. GRADING IN ROW IS DIAGRAMATIC AND PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXISTING GRADES.
2. CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATION OF ALL UTILITIES. DO NOT PERFORM ANY EXCAVATION OR OTHER GRADING OPERATIONS PRIOR TO THEIR LOCATION.
3. SLOPE FINISHED SURFACE A MINIMUM OF 2% AWAY FROM THE BUILDING ON ALL SIDES UNLESS NOTED OTHERWISE.
4. BOTTOM OF WALL REFERS TO FINISH SURFACE GRADE AT THE BASE OF THE WALL. PROVIDE ADEQUATE COVER FOR FOOTING AND SUBBASE DEPTH BELOW BOTTOM OF WALL GRADE.
5. COORDINATE FINE GRADING AND SURFACE DRAINAGE WITH LANDSCAPE INSTALLATION. SEE MATERIALS PLANS AND ARCHITECTURAL PLANS FOR HARDSCAPE, WALLS, STEPS, LANDSCAPE FEATURES, AND PLANTING AREAS.
6. REFER TO SHEETS L5.01 FOR SITE DETAILS.
7. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION / INSTALLATION.



1 LEVEL 01 GRADING PLAN
1/8" = 1'-0"



HINES

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GRADING PLAN

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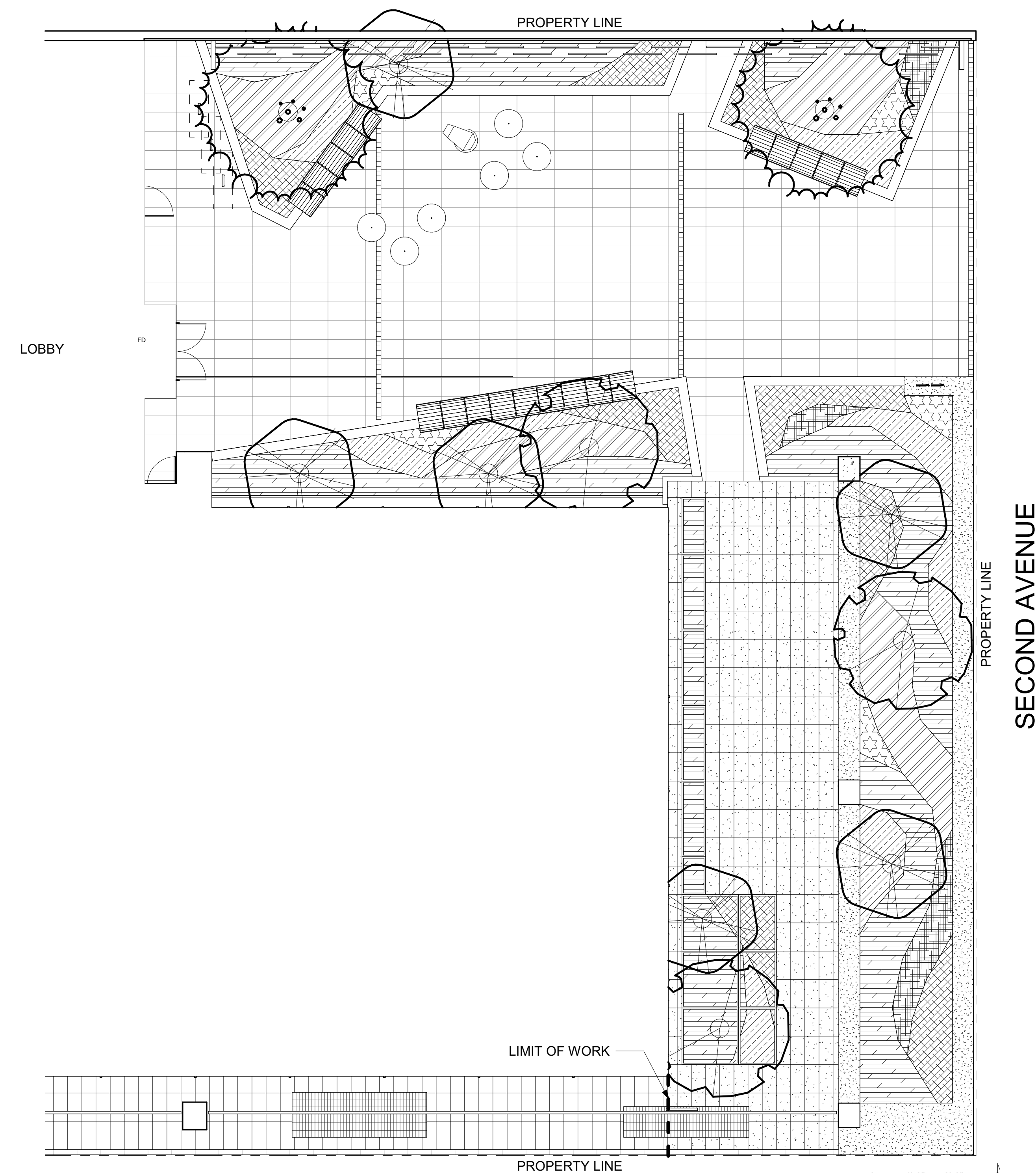
L2.01



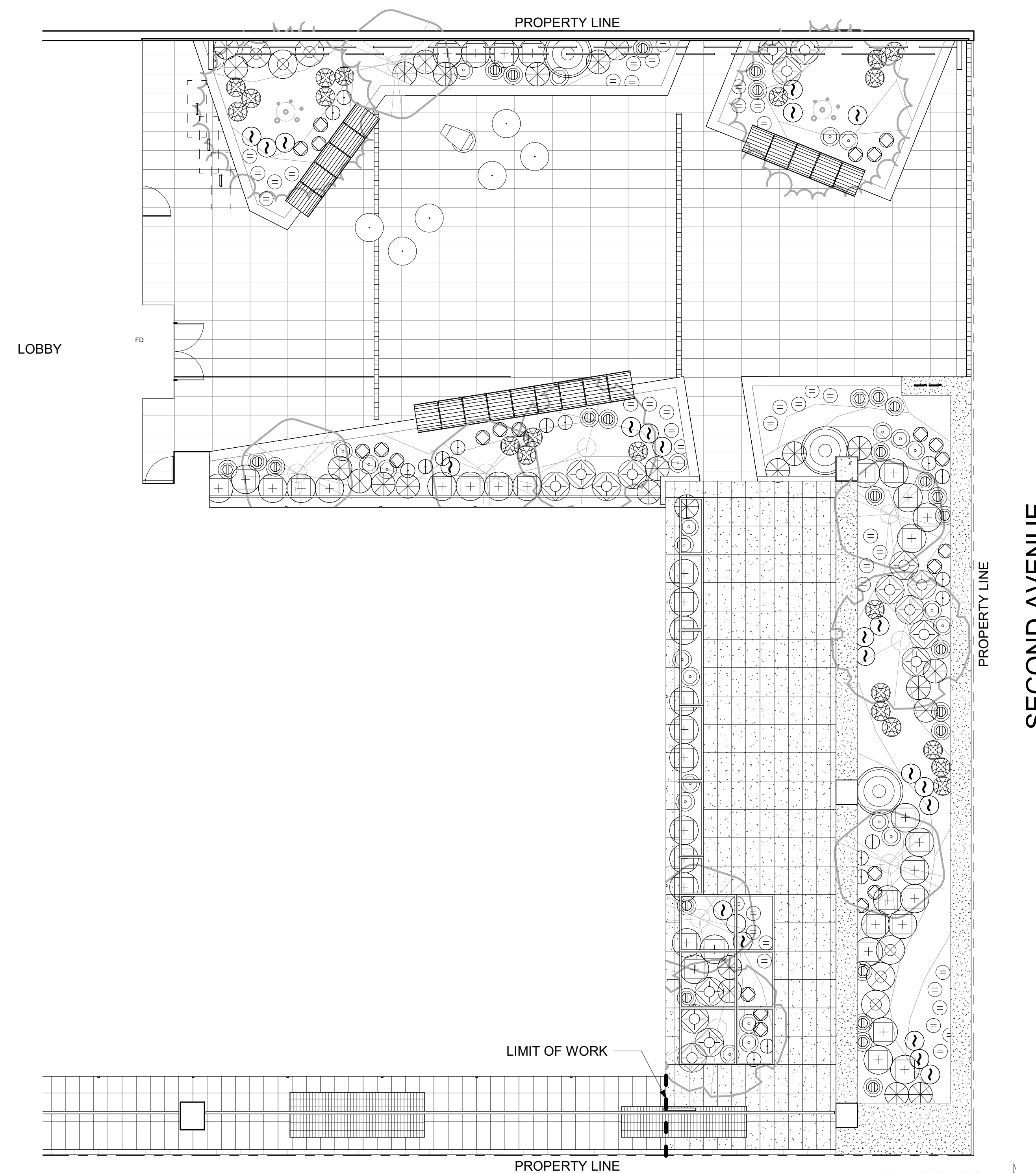
NOT FOR CONSTRUCTION

PLANTING NOTES

1. REFER TO SHEET L3.10 FOR PLANT SCHEDULE AND PLANTING DETAILS.
2. PROVIDE 2" DEPTH OF COMPOST MULCH AT ALL PLANTED AREAS.
3. ALL PLANTED AREAS TO RECEIVE PERMANENT IRRIGATION. REFER TO SHEET L4.01 FOR IRRIGATION PLAN.
4. REFER TO SHEET L3.10 FOR TYPICAL SOIL SECTION.
5. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION/INSTALLATION.



1 PLANTING PLAN - TREES & GROUNDCOVER
1/8" = 1'-0"



2 PLANTING PLAN - SHRUBS & PERENNIALS
1/8" = 1'-0"

HINES

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PLANTING PLAN

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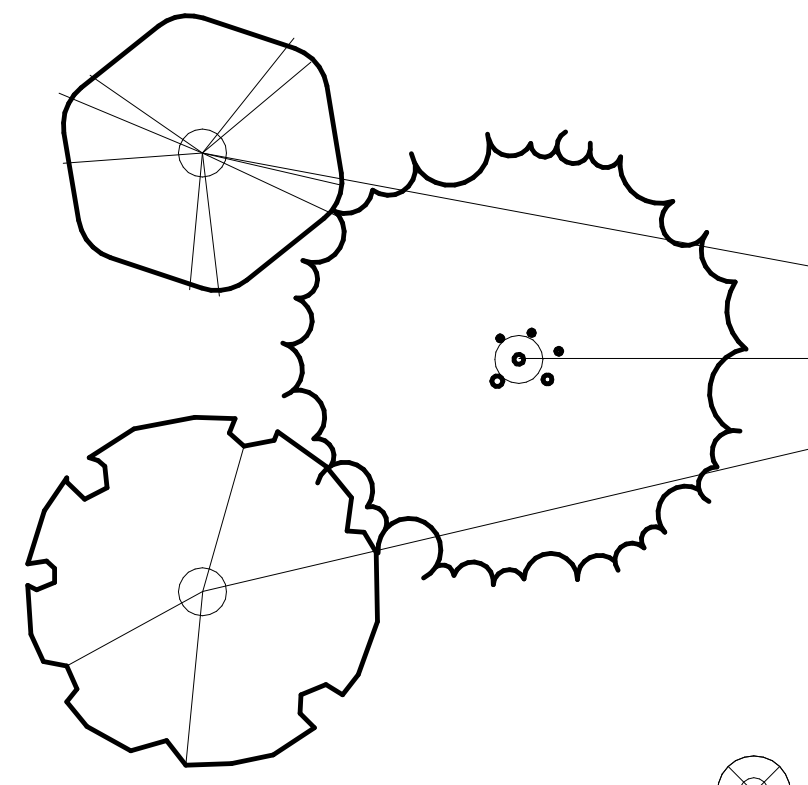
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PLANTING SCHEDULE & DETAILS

L3.10

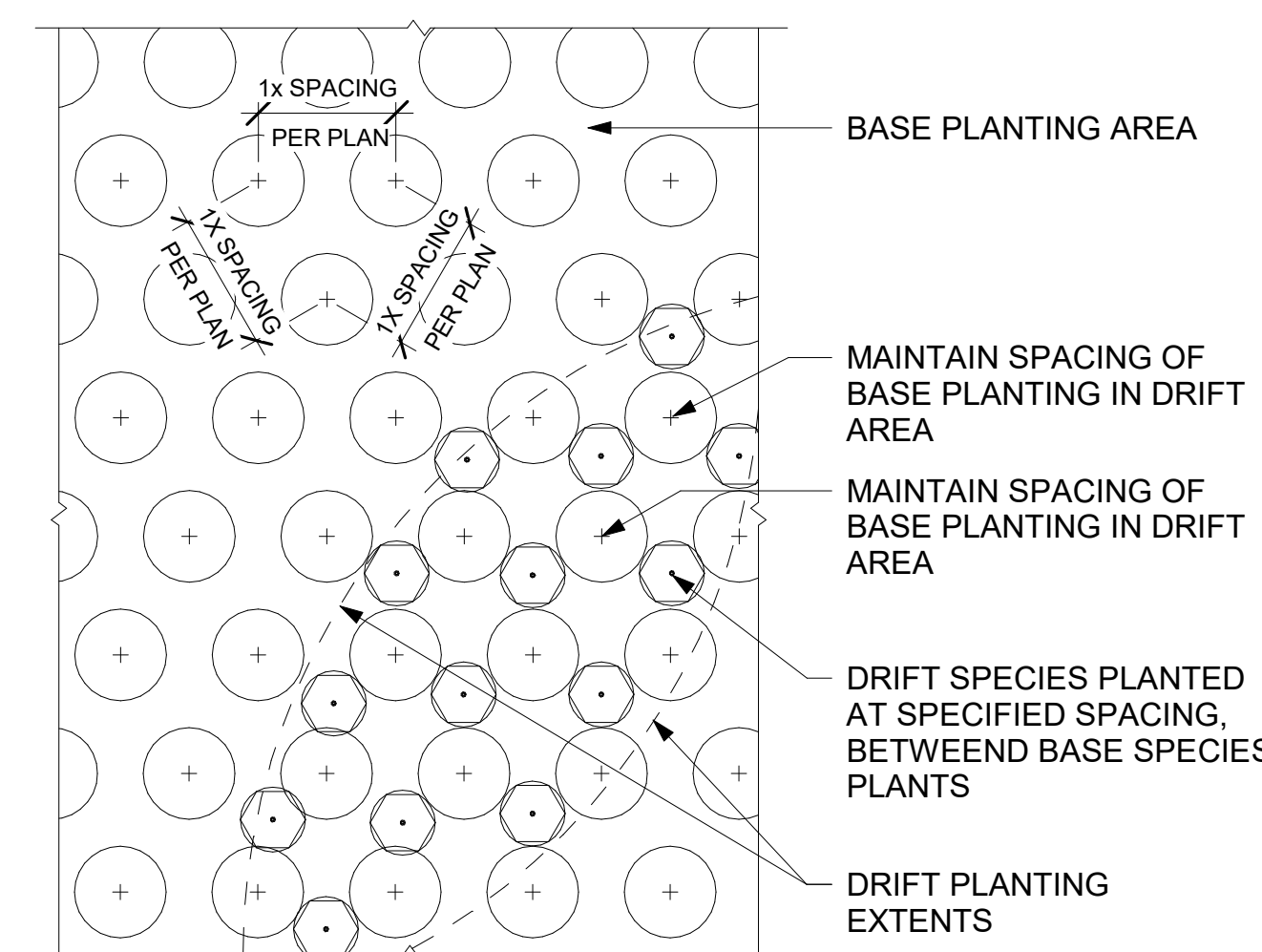


PLANTING SCHEDULE - TREES					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
6	Acer cineratum	Vine maple	8-10' ht MS	PER PLAN	multistem - 3 stems min, min 1" cal each stem
2	Acer palmatum 'Osakazuki'	Osakazuki Japanese maple	12'-14' ht MS	PER PLAN	multistem - 3 stems min, min 2" cal each stem
3	Acer palmatum 'Seiryu'	Seiryu Japanese maple	10'-12' ht MS	PER PLAN	multistem - 3 stems min, min 1 1/2" cal each stem

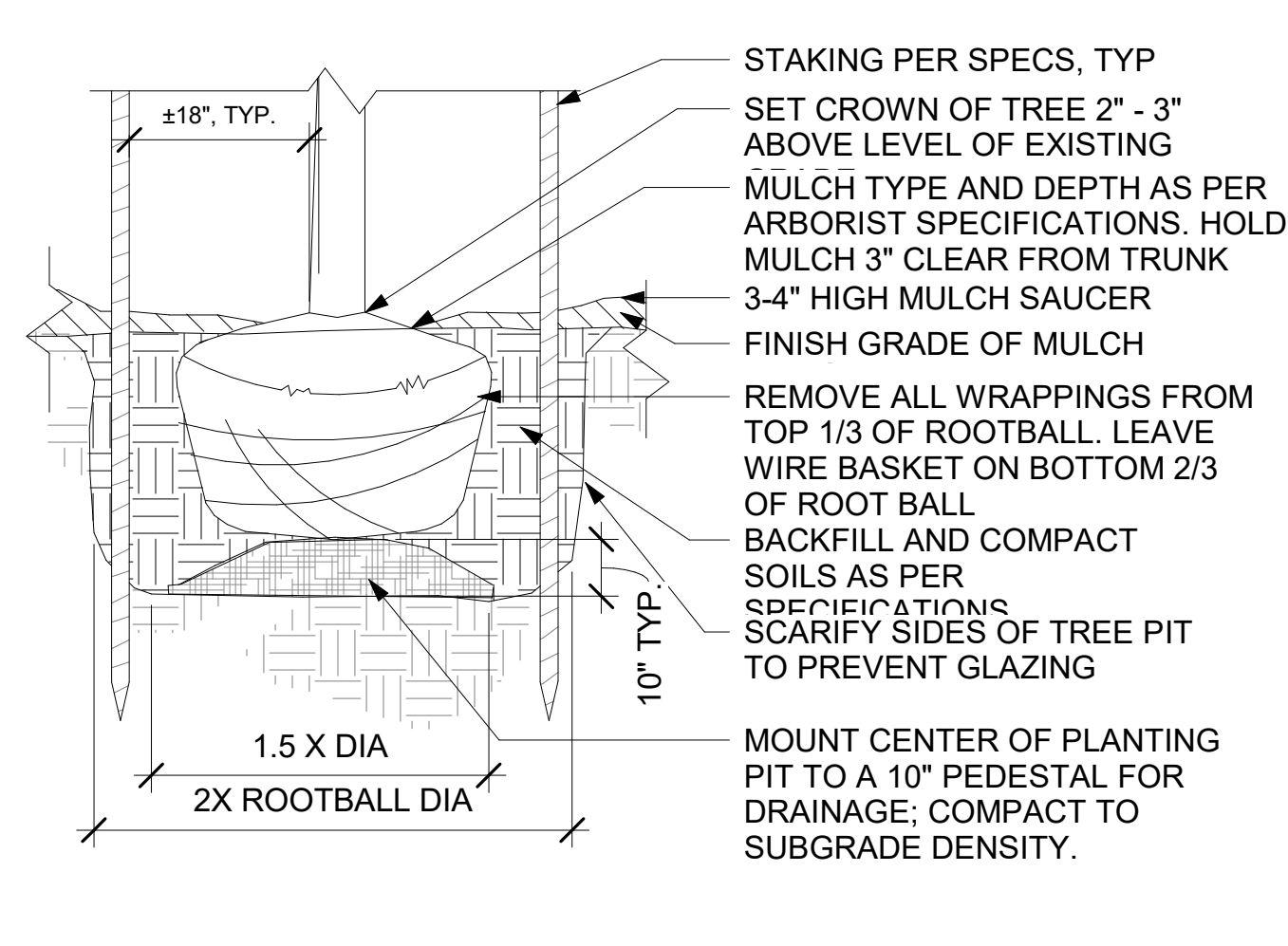
PLANTING SCHEDULE - SHRUBS, PERENNIALS, GRASSES, AND VINES					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUOUS SHRUB					
6	Ribes sanguineum	Flowering currant	#5 POT	PER PLAN	
EVERGREEN SHRUB					
17	Cephalotaxus harringtonia 'Duke Gardens'	Duke Gardens plum yew	#5 POT	PER PLAN	
25	Mahonia nervosa	Cascade barberry	#2 POT	PER PLAN	
3	Pinus contorta 'Spaan's Dwarf'	Dwarf shore pine	#7 POT min.	PER PLAN	4-6' HT MIN.
41	Viburnum davidii	David viburnum	#5 POT	PER PLAN	
PERENNIAL					
39	Achillea millefolium 'Rosa Maria'	Rosa Maria yarrow	#1 POT	PER PLAN	
17	Anemone sylvestris	Snowdrop windflower	#1 POT	PER PLAN	
23	Aquilegia vulgaris 'Clementine Rose'	Clementine Rose columbine	#1 POT	PER PLAN	
21	Dicentra formosa	Bleeding heart	#2 POT	PER PLAN	
25	Helleborus niger 'Double Fantasy'	Winter Dreams Double Fantasy Hellebore	#2 POT	PER PLAN	
22	Hosta x 'Guacamole'	Guacamole Hosta	#1 POT	PER PLAN	
27	Schizostylis coccinea 'Alba'	White Kaffir lily	#1 POT	PER PLAN	

PLANTING SCHEDULE - GROUNDCOVER					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
39	Bergenia 'Bressingham White' *	Bressingham White heartleaf bergenia	#2 pot	18" o.c.	
143	Blechnum spicant *	Deer fern	#2 pot	18" o.c.	
176	Carex oshimensis 'Everlime' *	Everlime sedge	#1 pot	18" o.c.	
28	Geranium x cantabrigiense 'Biokovo'	Cranesbill geranium	#2 pot	24" o.c.	
458	Liriope muscari 'Royal Purple' *	Royal Purple lilyturf	#1 pot	18" o.c.	
207	Polystichum munitum	Sword fern	#1 pot	18" o.c.	

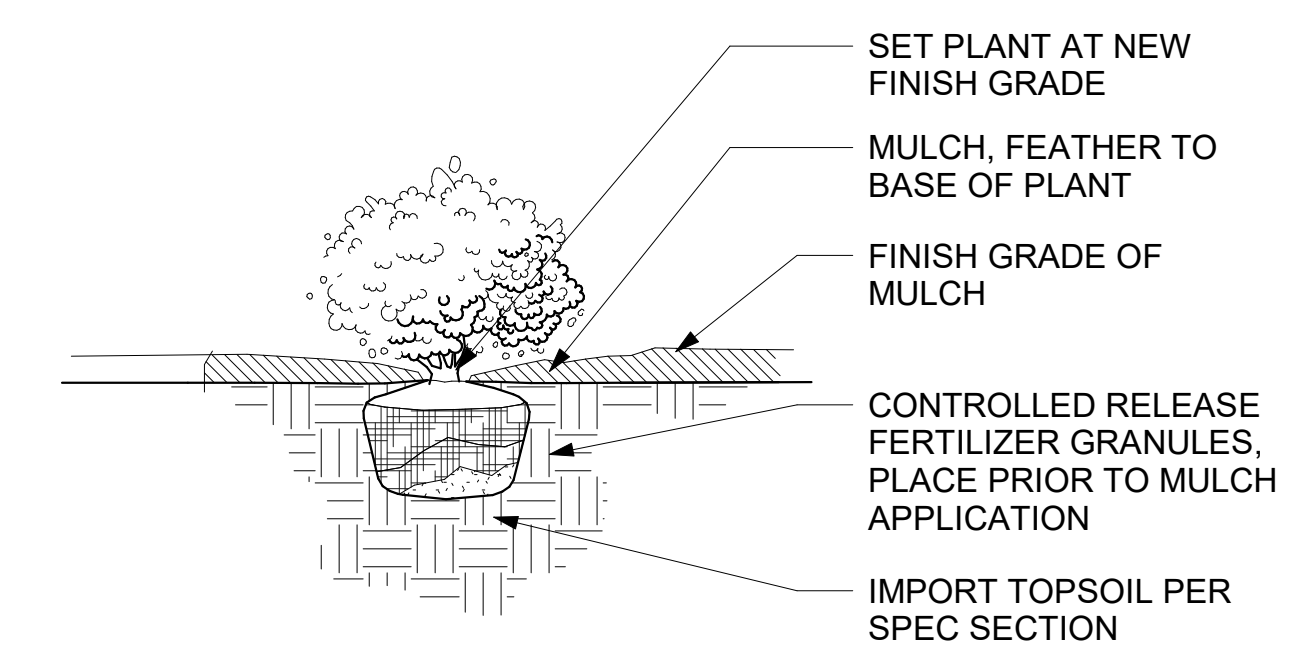
- NOTES:
- DIG PLANTING PITS DOWN AND OUTWARD SO THAT WATER WILL NOT COLLECT DIRECTLY BELOW ROOTBALL
 - SOAK PLANTING PIT PRIOR TO PLANTING
 - UNCOIL TWISTED OR CIRCULATING ROOTS PRIOR TO PLANTING. CUT OFF ANY PERMANENTLY KINKED ROOTS
 - REMOVE ANY AND ALL PLASTIC FROM ROOTBALL PRIOR TO PLANTING



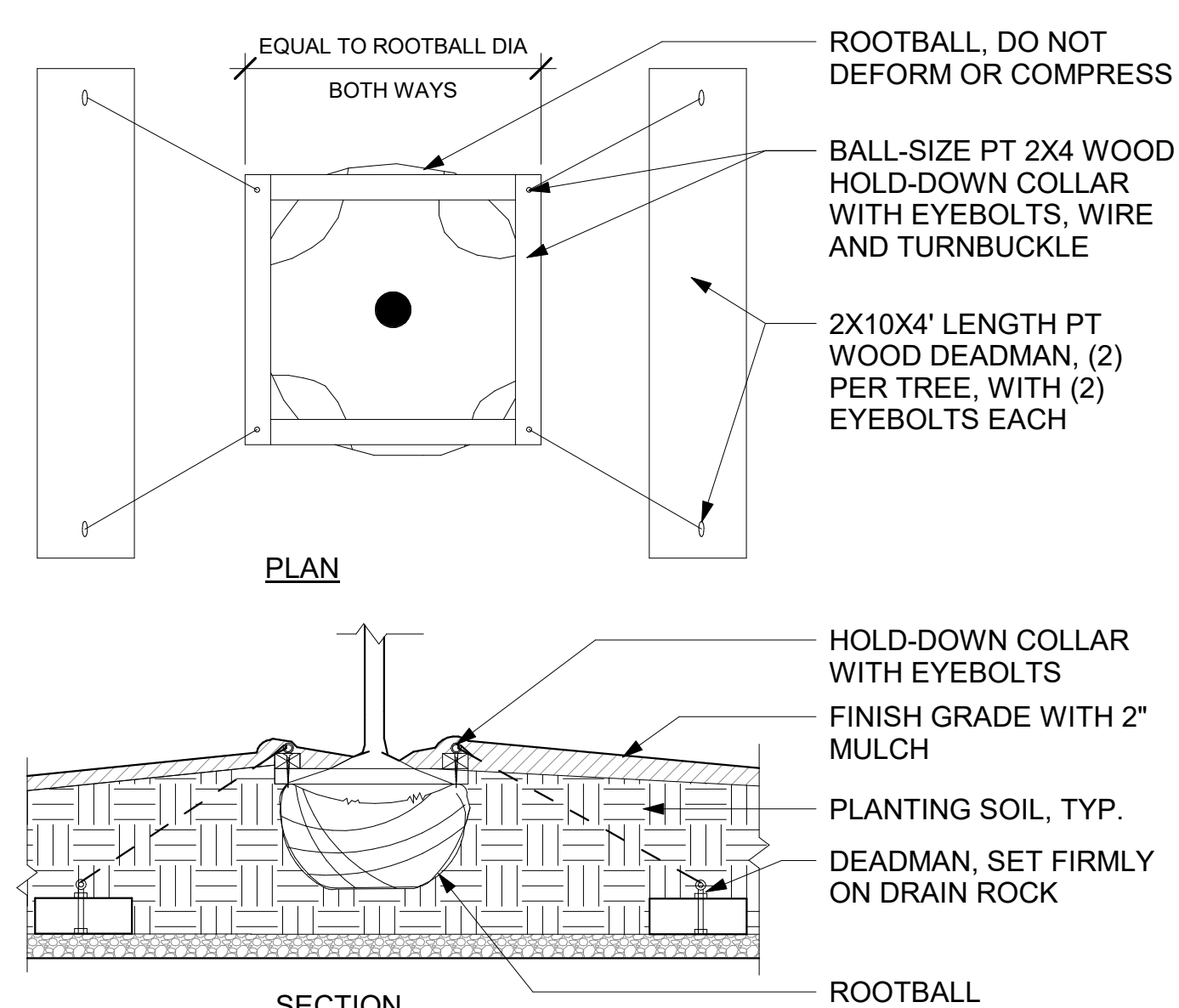
6 DRIFT PLANTING DIAGRAM
1/2" = 1'-0"



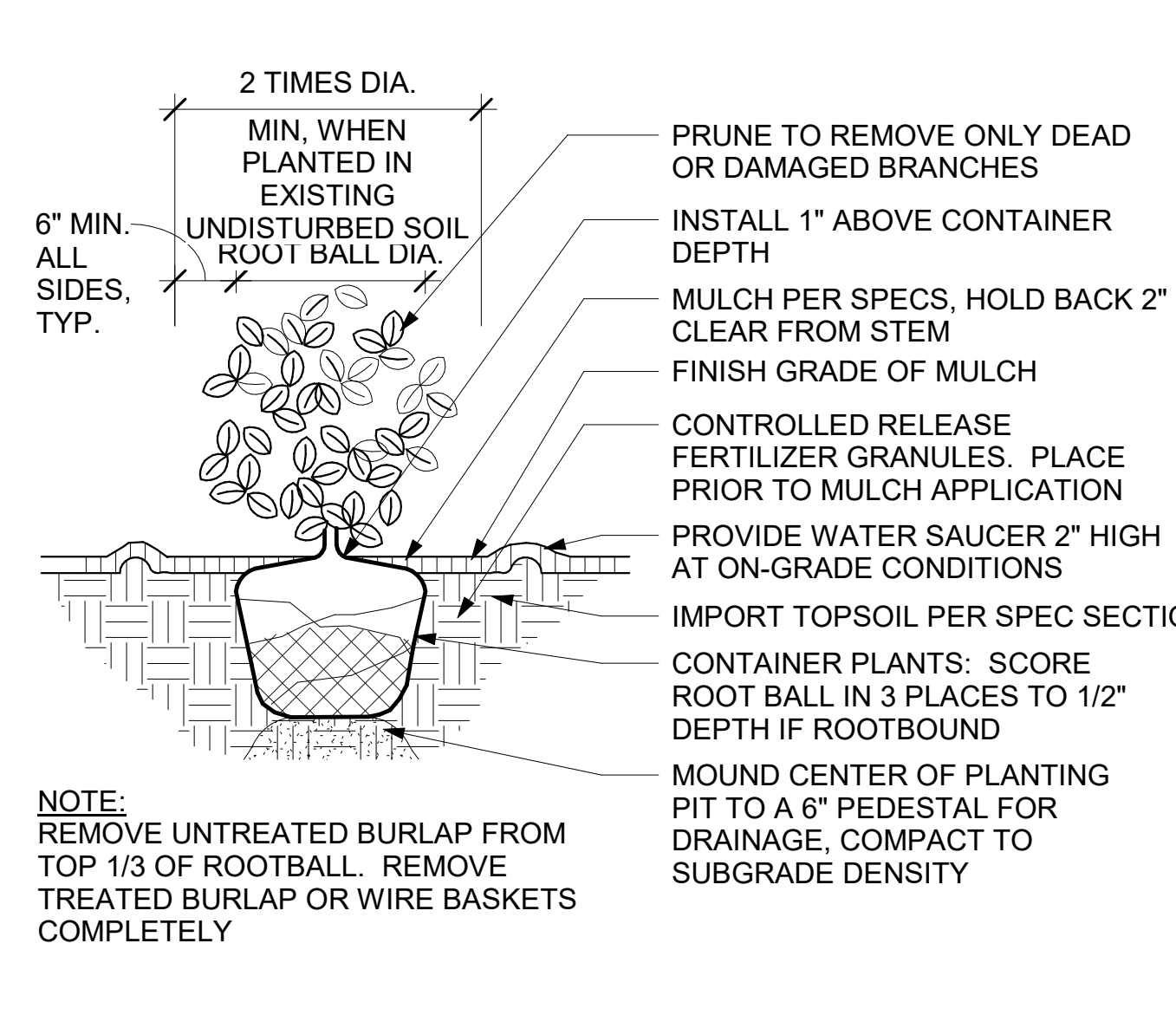
4 TREE PLANTING
1 1/2" = 1'-0"



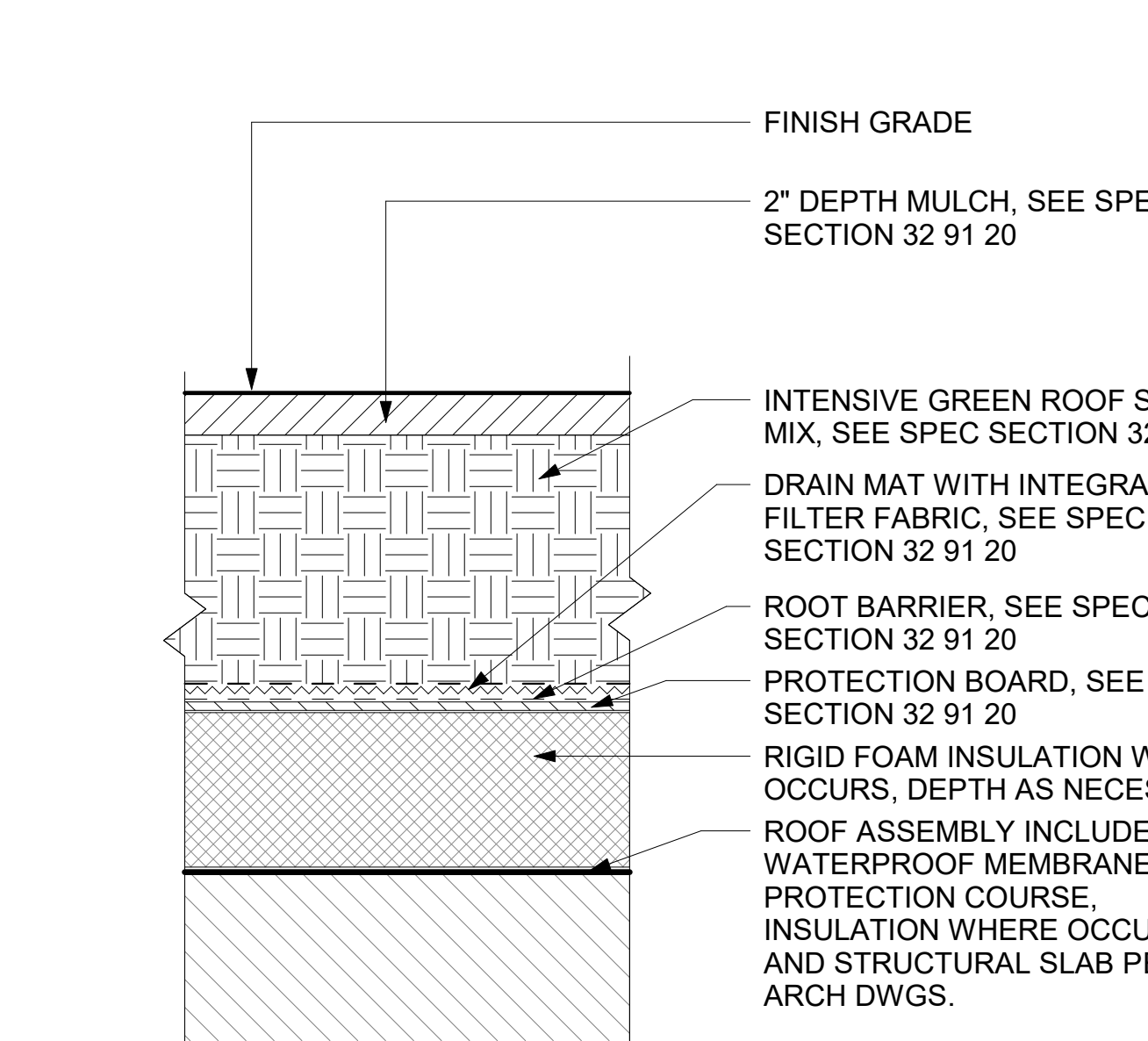
2 GROUNDCOVER PLANTING
3/4" = 1'-0"



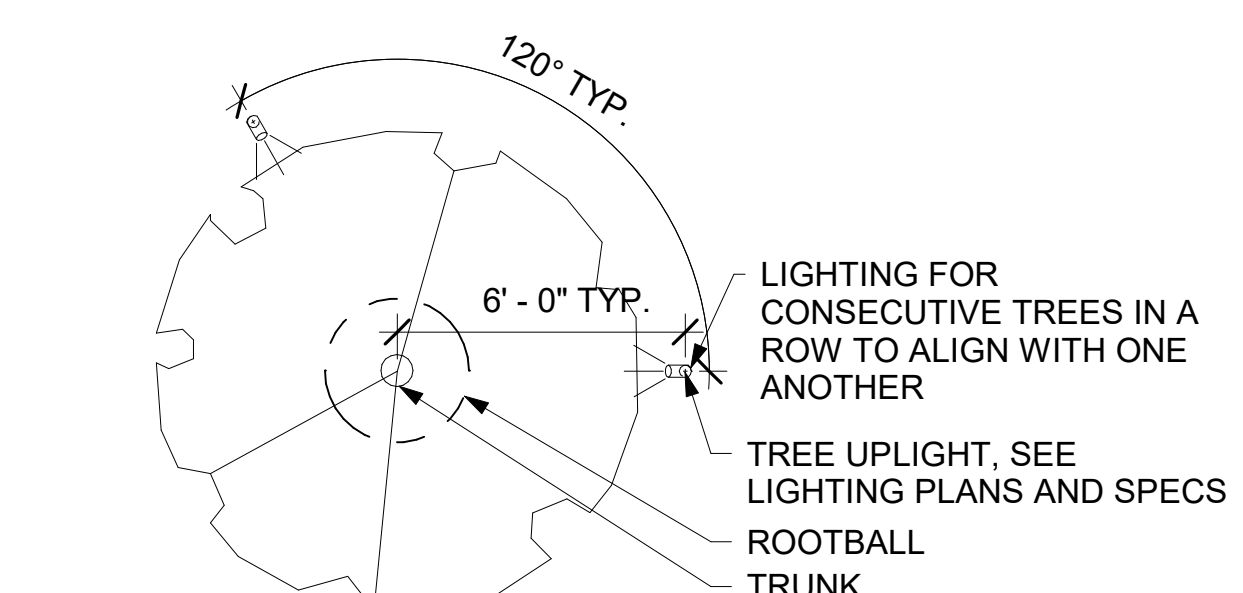
5 TREE STAKING ON STRUCTURE
3/4" = 1'-0"



3 SHRUB PLANTING
3/4" = 1'-0"



1 INTENSIVE PLANTING AREA SECTION - WITH FOAM
1 1/2" = 1'-0"



7 TREE UPLIGHT
1/4" = 1'-0"

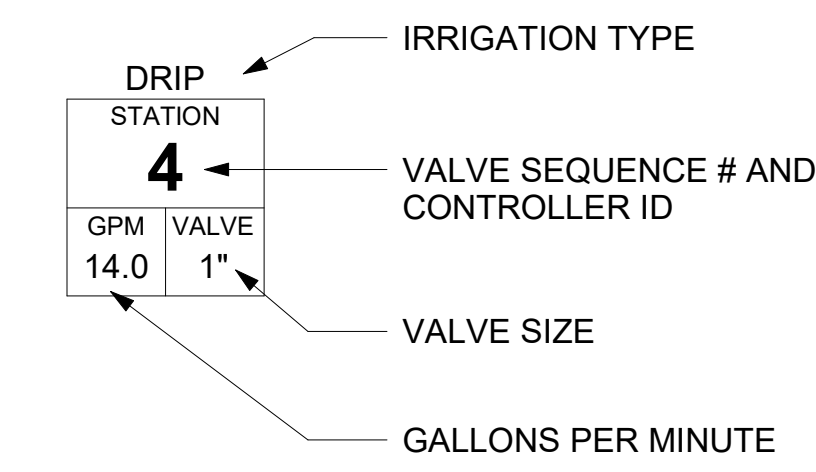


IRRIGATION LEGEND

- IRRIGATION POINT OF CONNECTION - RIGHT OF WAY
- GATE VALVE
- PRESURE REDUCING VALVE & STRAINER (USE WHEN PSI EXCEEDS 80PSI)
- BACKFLOW PREVENTER
- MASTER VALVE
- FLOW SENSOR
- QUICK COUPLER
- DRIP ZONE KIT:
RAIN BIRD XCZ-075-PRF FOR 0-5 GPM ZONES
RAIN BIRD XCZ-100-PRF FOR 5-15 GPM ZONES
- IRRIGATION CONTROLLER - LEVEL P01
- HARD-WIRED RAIN /FREEZE SENSOR (ONE PER CONTROLLER)
- BUBBLERS (2 PER TREE AS SHOWN)
- PIPE UPTURN / DOWNTURN, SEE PLUMBING DWGS FOR LOCATION AND SIZE
- AIR VACUUM RELIEF VALVE - LOCATE AT HIGH POINT OF DRIPLINE CIRCUIT
- LINE FLUSHING & SHUT-OFF VALVE - LOCATE AT LOW POINT OF DRIPLINE CIRCUIT
- DRIPLINE OPERATION INDICATOR - LOCATE PER DETAILS

- SCH 40 PVC SLEEVE (2X LINE SIZE, 4" MIN)
- COPPER OR CPVC SCH 40 MAINLINE (INTERIOR ONLY), SIZE PER PLUMBING DWGS
- SCH 40 PVC MAINLINE, SEE PIPE SIZING CHART
- SCH 40 PVC LATERAL, SEE PIPE SIZING CHART
- RAINBIRD XFS SUB-SURFACE DRIPLINE EVENLY SPACED ±14"-18" IN PLANTERS (18" MAX) WITH 0.6GPH EMITTERS @ 12" OC

IRRIGATION ZONE TAG KEY

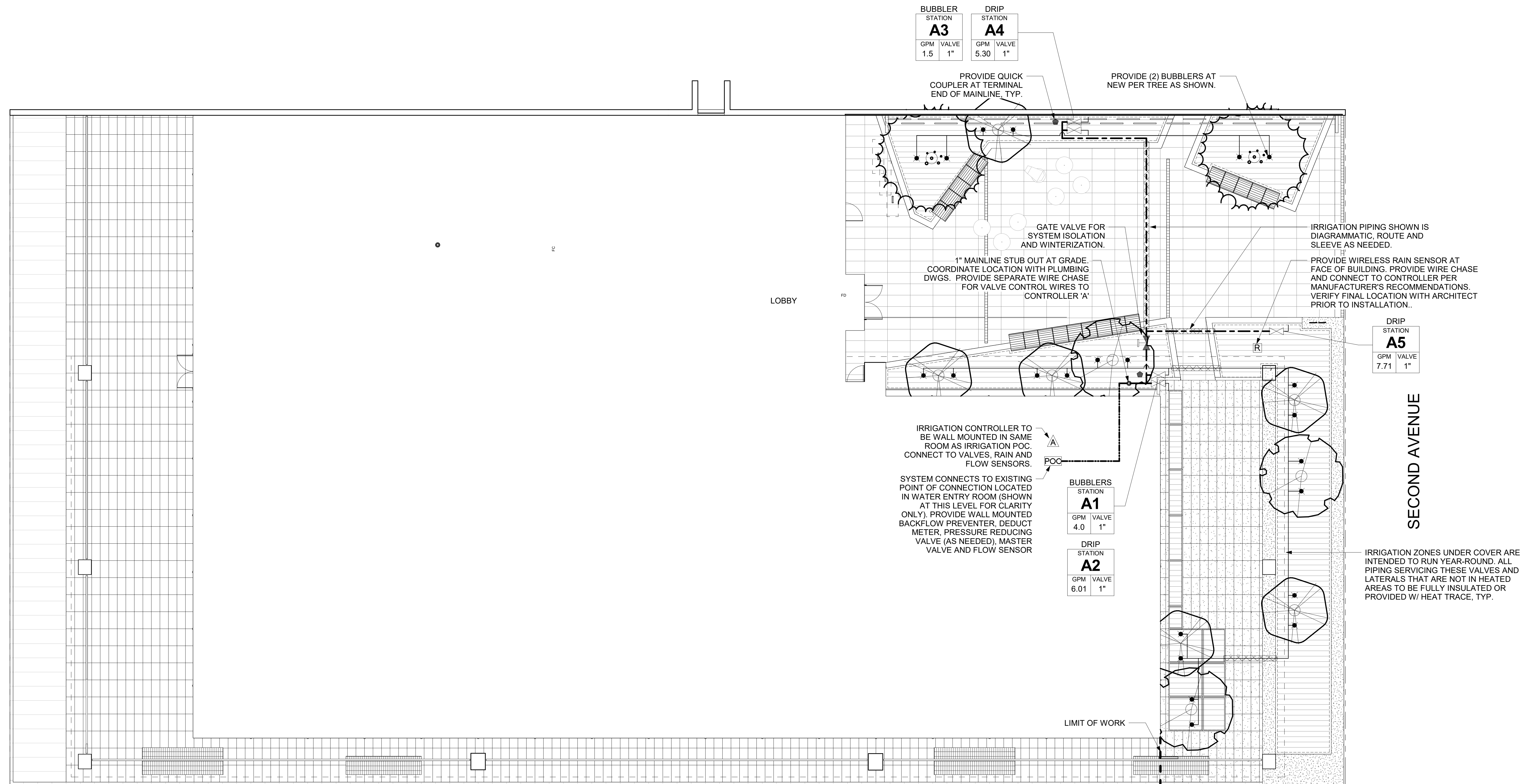


**PIPE SIZING CHART
SCH 40 PVC MAINLINE / LATERALS**

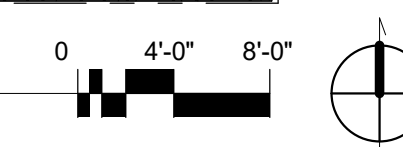
GALLONS / MIN.	PIPE SIZE
0 - 10	3/4 INCH
10 - 16	1 INCH
16 - 26	1-1/4 INCH
26 - 35	1-1/2 INCH

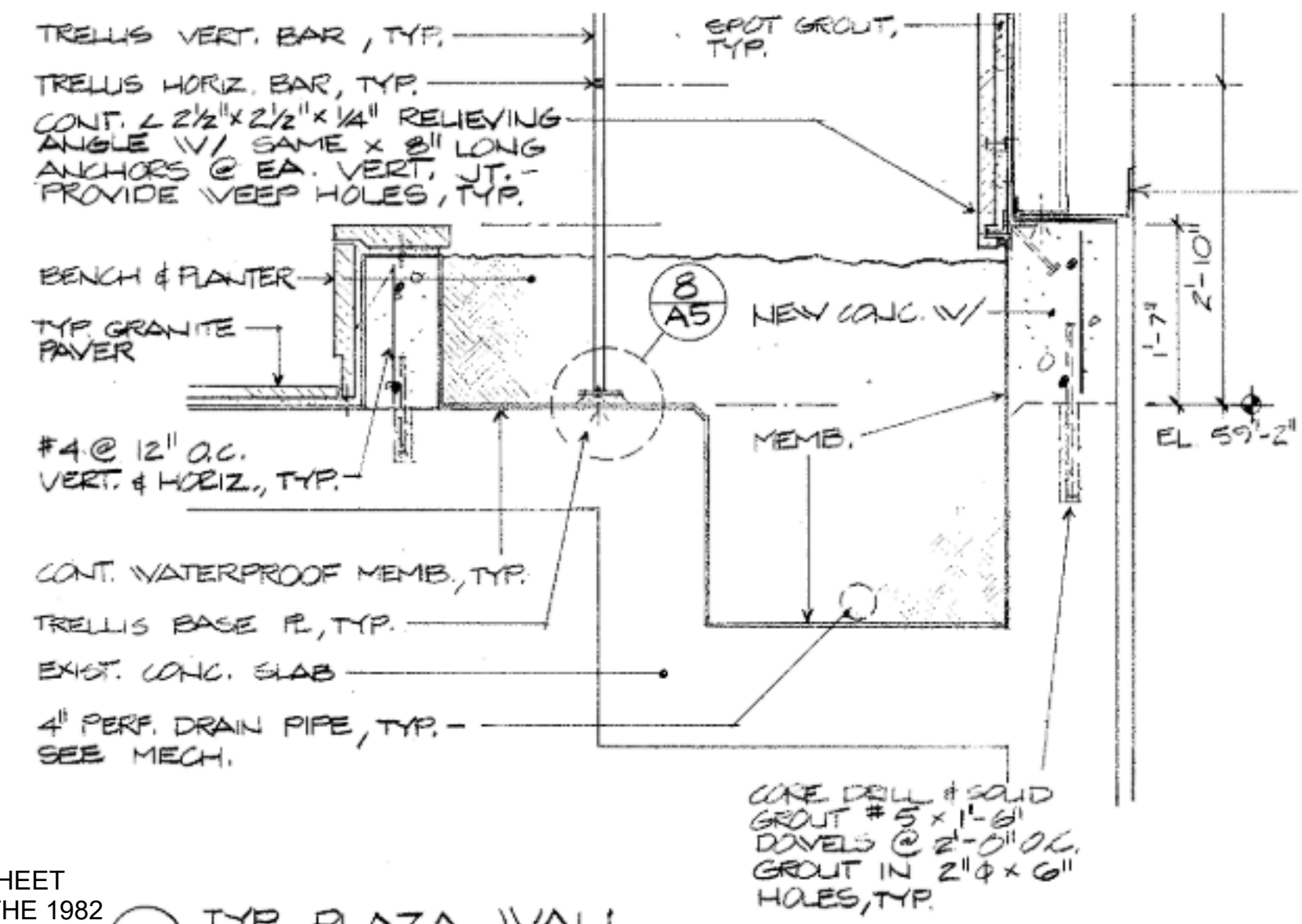
IRRIGATION NOTES

- PROVIDE SUB-SURFACE DRIP IRRIGATION AT ALL LANDSCAPE PLANTERS AREAS AS SHOWN.
- PROVIDE TWO BUBBLERS AT NEW TREES AS SHOWN.
- IRRIGATION SYSTEM CONNECTS TO EXISTING POINT OF CONNECTION. TEST WATER PRESSURE AT THE IRRIGATION SYSTEM POINT OF CONNECTION PRIOR TO BEGINNING WORK. VERIFY PRESSURE IS IN THE RANGE ANTICIPATED DURING THE DESIGN OF THE IRRIGATION SYSTEM.
- MAINLINE TO BE 1" SIZE STUBBED TO COURTYARD AT LEVELS 01. COORDINATE LOCATION OF IRRIGATION APPURTENANCES IN WATER SERVICE ROOM AND MAINLINE STUBS AT COURTYARD AND ROOF WITH PLUMBER. ALL PIPING INTERIOR TO BUILDING TO BE COPPER.
- PROVIDE IRRIGATION CONTROLLER IN WATER SERVICE ROOM #TBD. FINAL LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE BUILDING MOUNTED HARD-WIRED RAIN SENSOR CONNECTED TO CONTROLLER IN WATER SERVICE ROOM. FINAL LOCATION OF RAIN SENSOR TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.



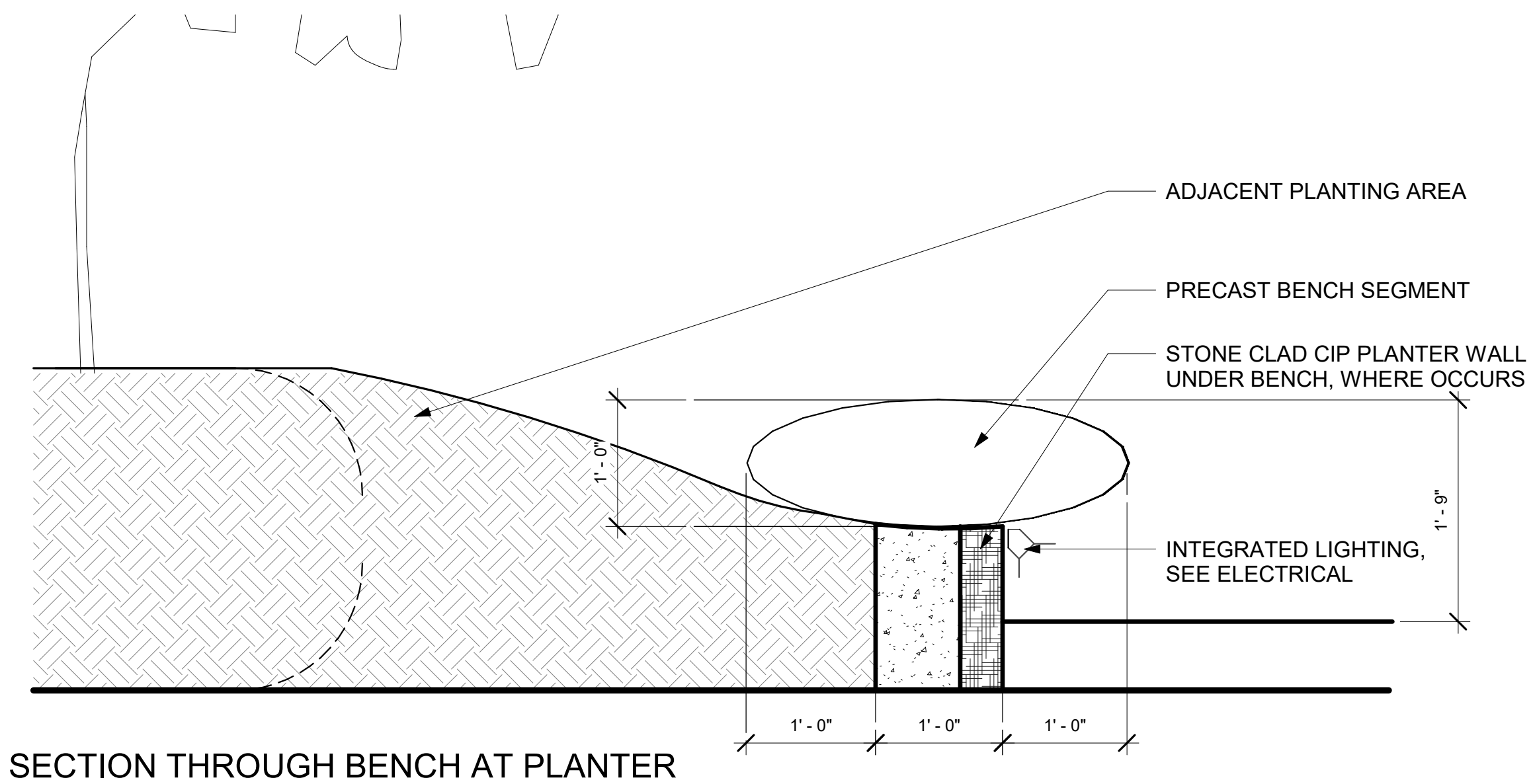
1 LEVEL 01 IRRIGATION PLAN
1/8" = 1'-0"



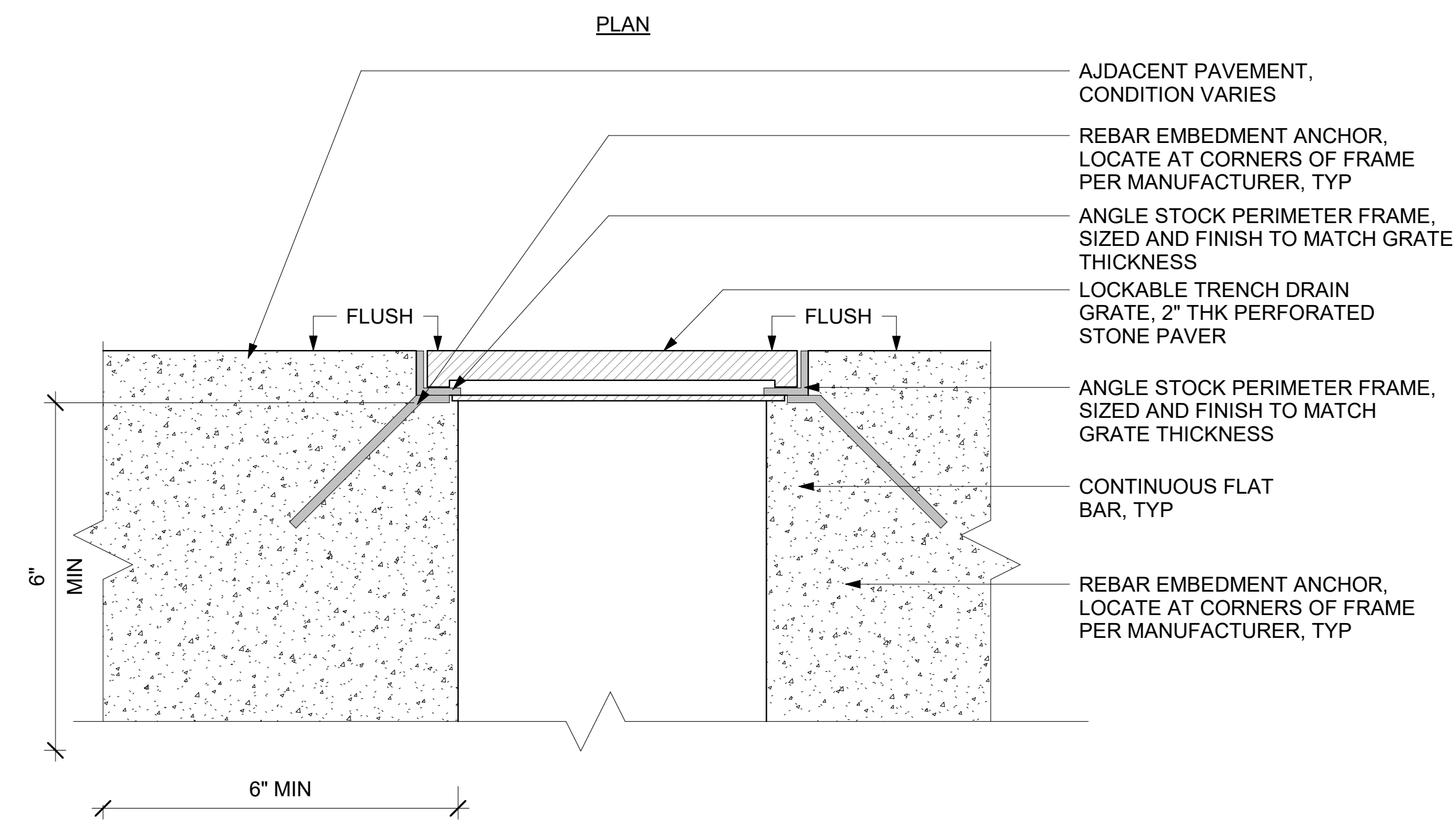


FROM SHEET A-5 OF THE 1982 RENOVATION DRAWINGS
11 TYP. PLAZA WALL
3/4" = 1'-0"

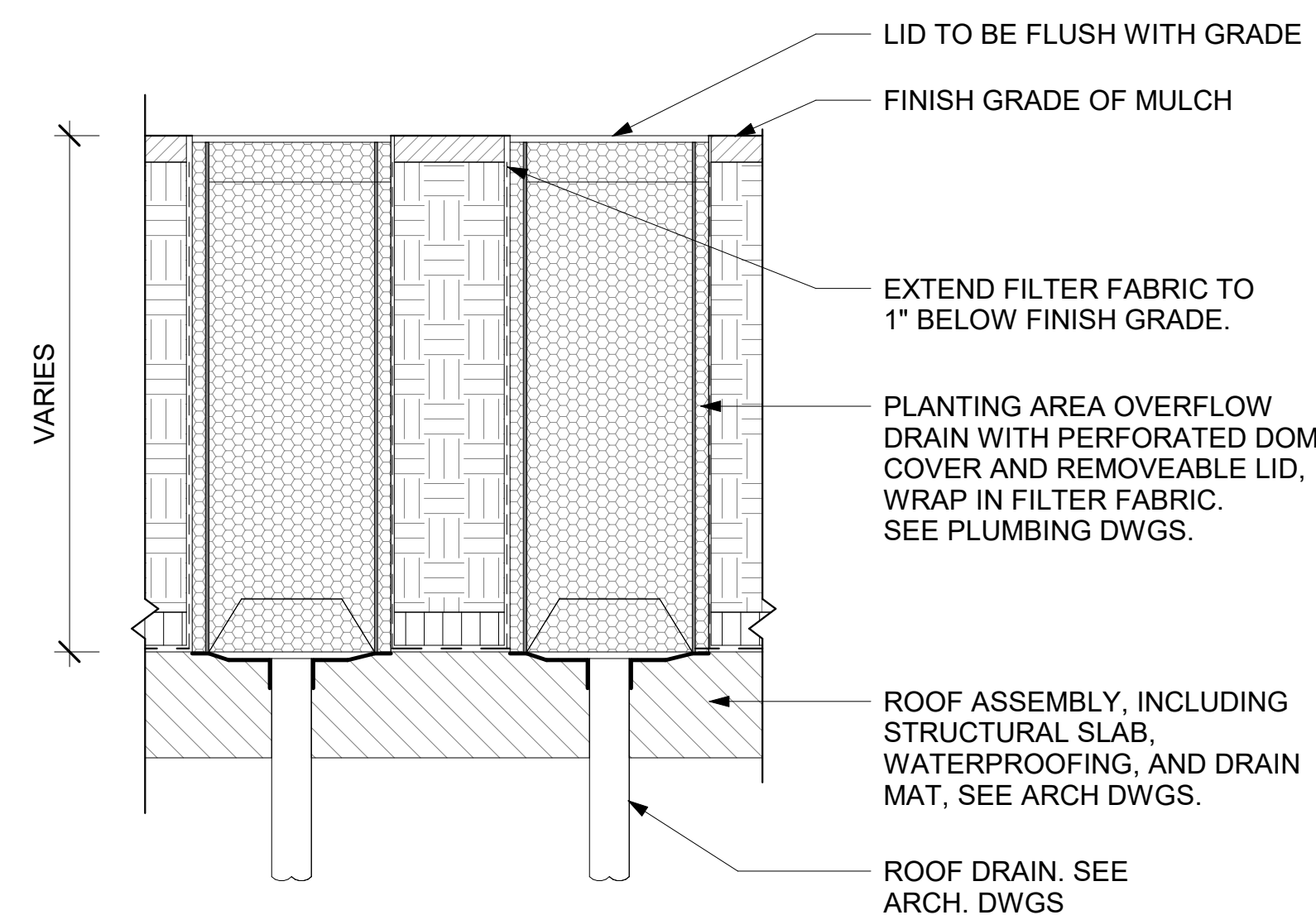
14 SECTION AT EXISTING NORTH WALL (FOR REFERENCE ONLY)
3/4" = 1'-0"



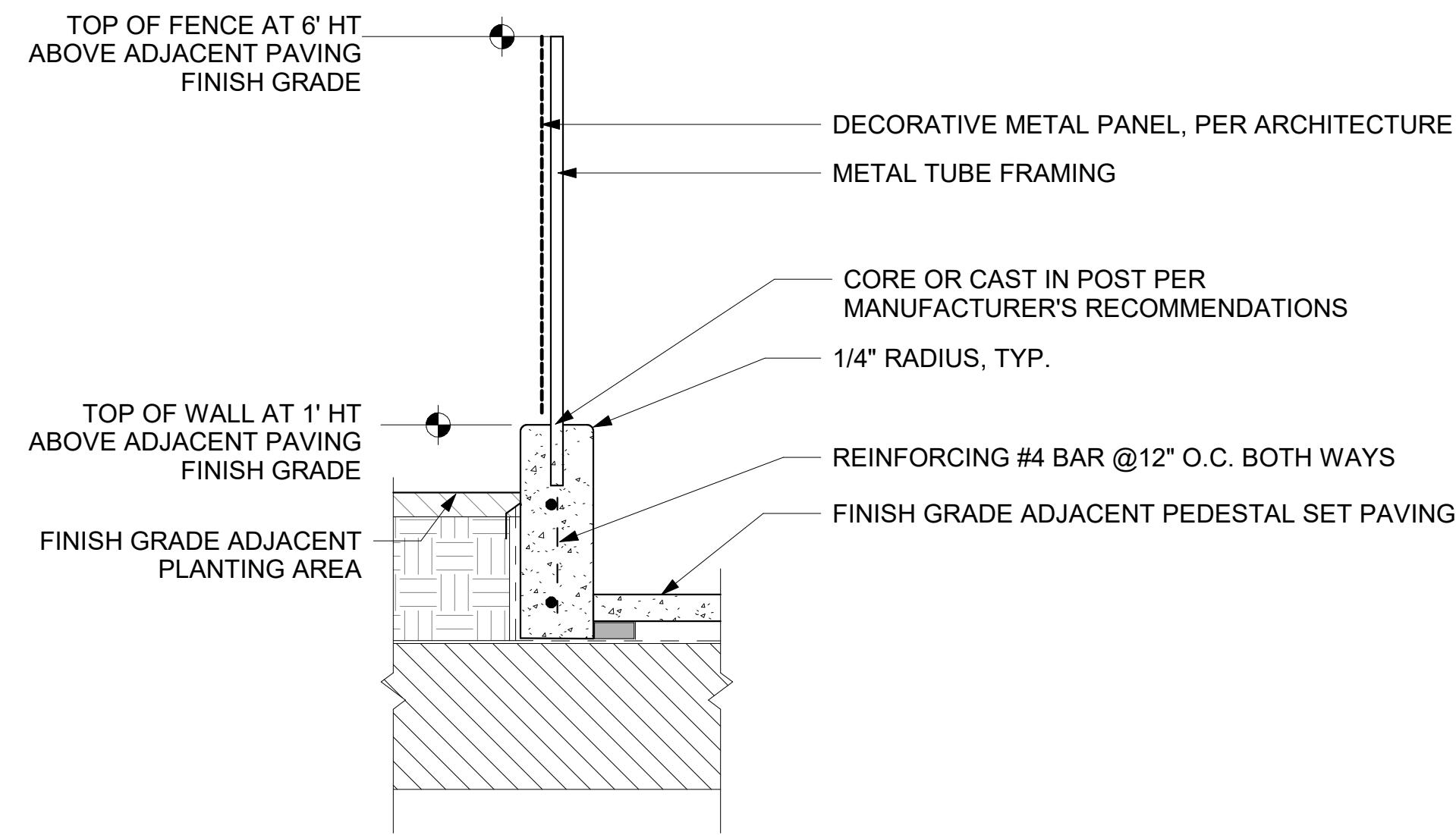
13 SECTION THROUGH BENCH AT PLANTER
1" = 1'-0"



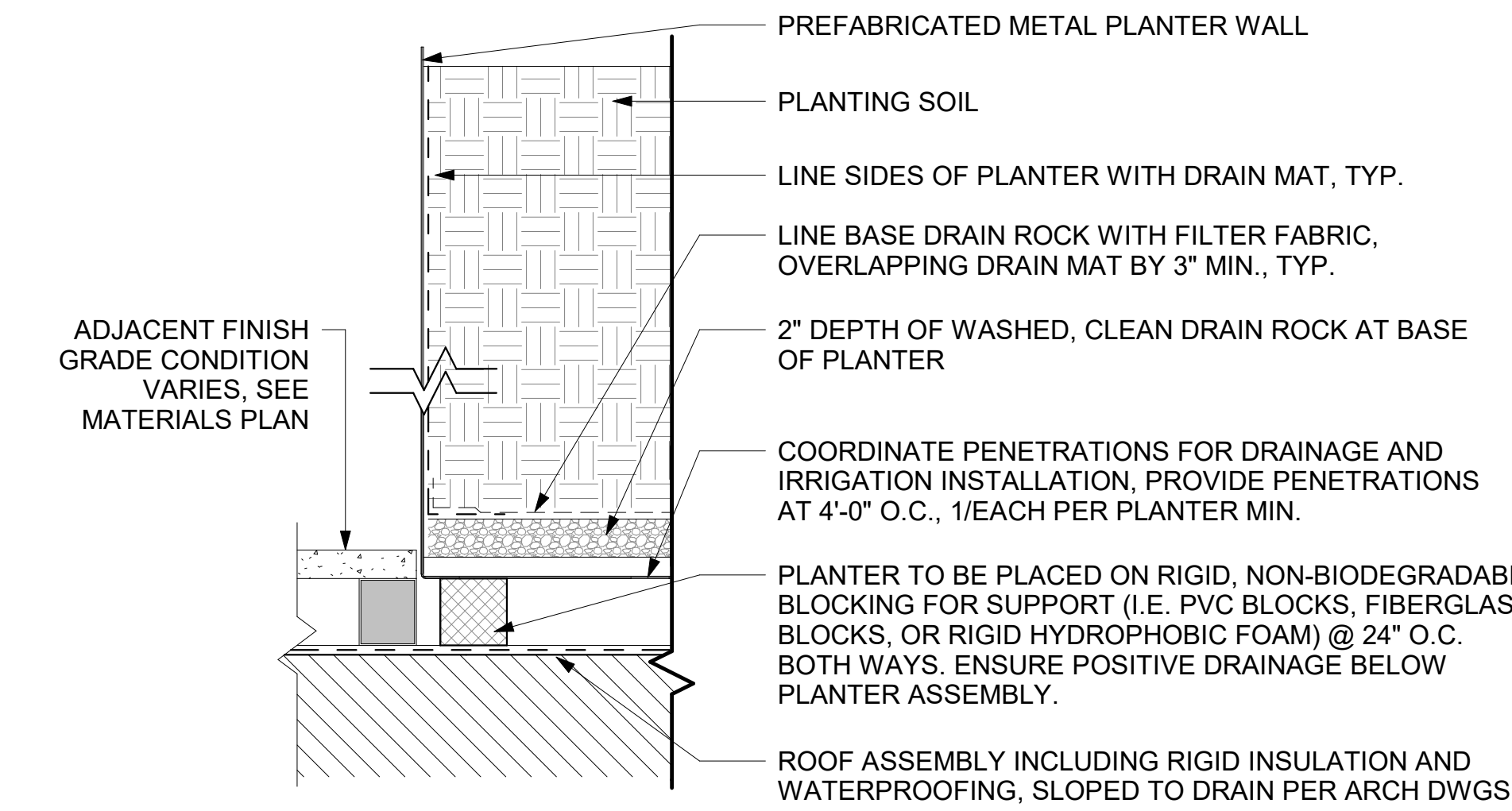
12 TRENCH GRATE AND FRAME - SECTION
6" = 1'-0"



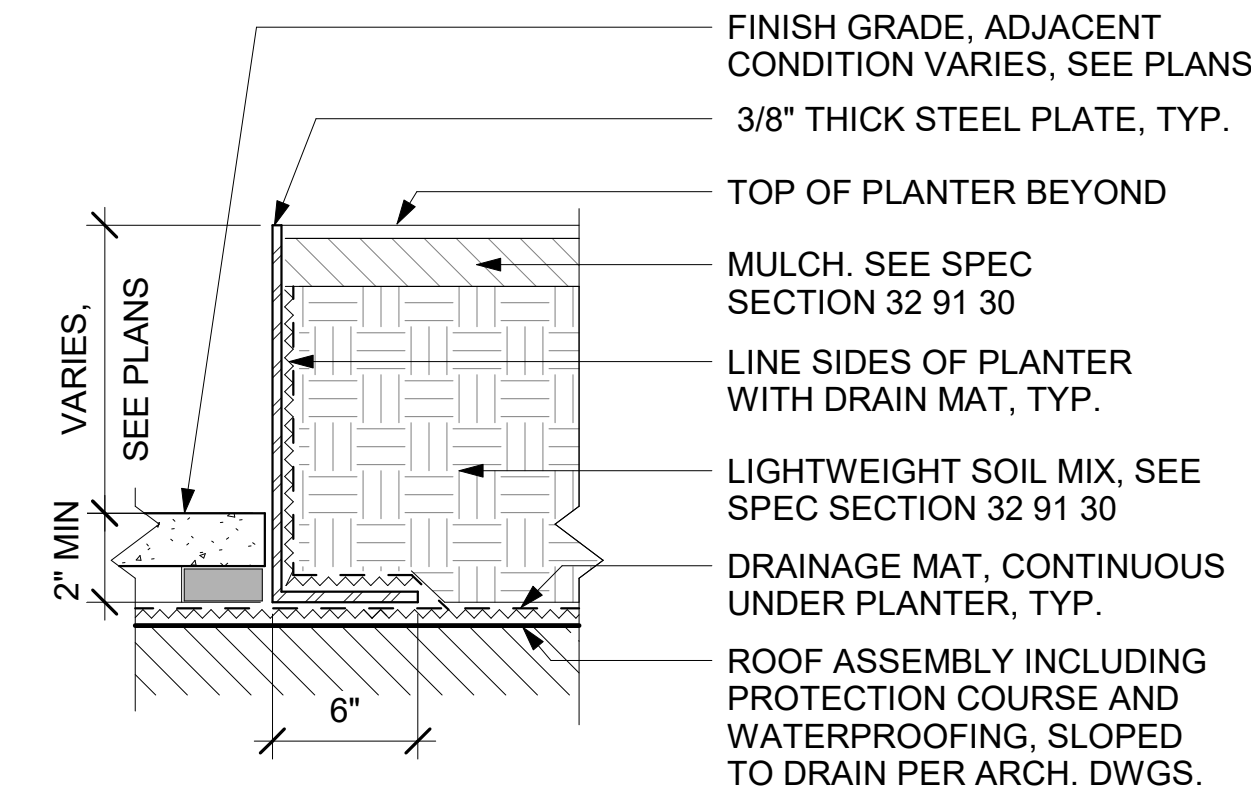
11 PLANTING AREA DRAIN CLEAN OUT - ON STRUCTURE
1" = 1'-0"



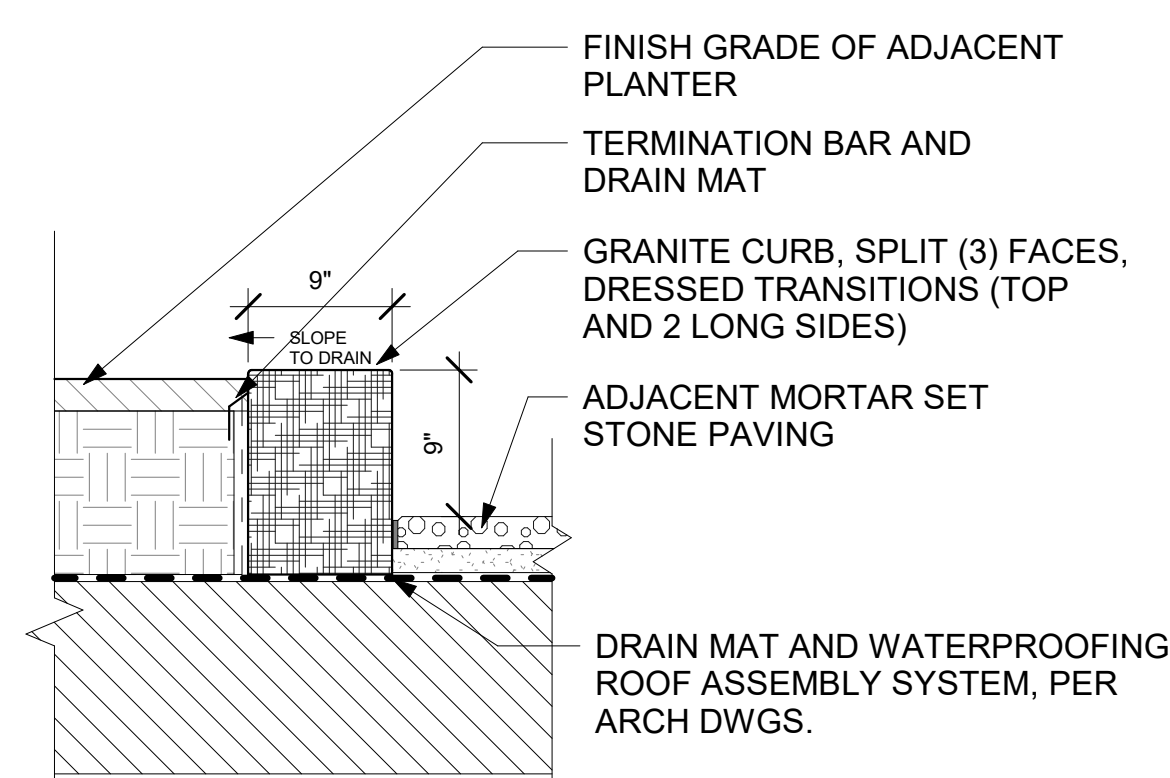
10 DECORATIVE METAL FENCE
1" = 1'-0"



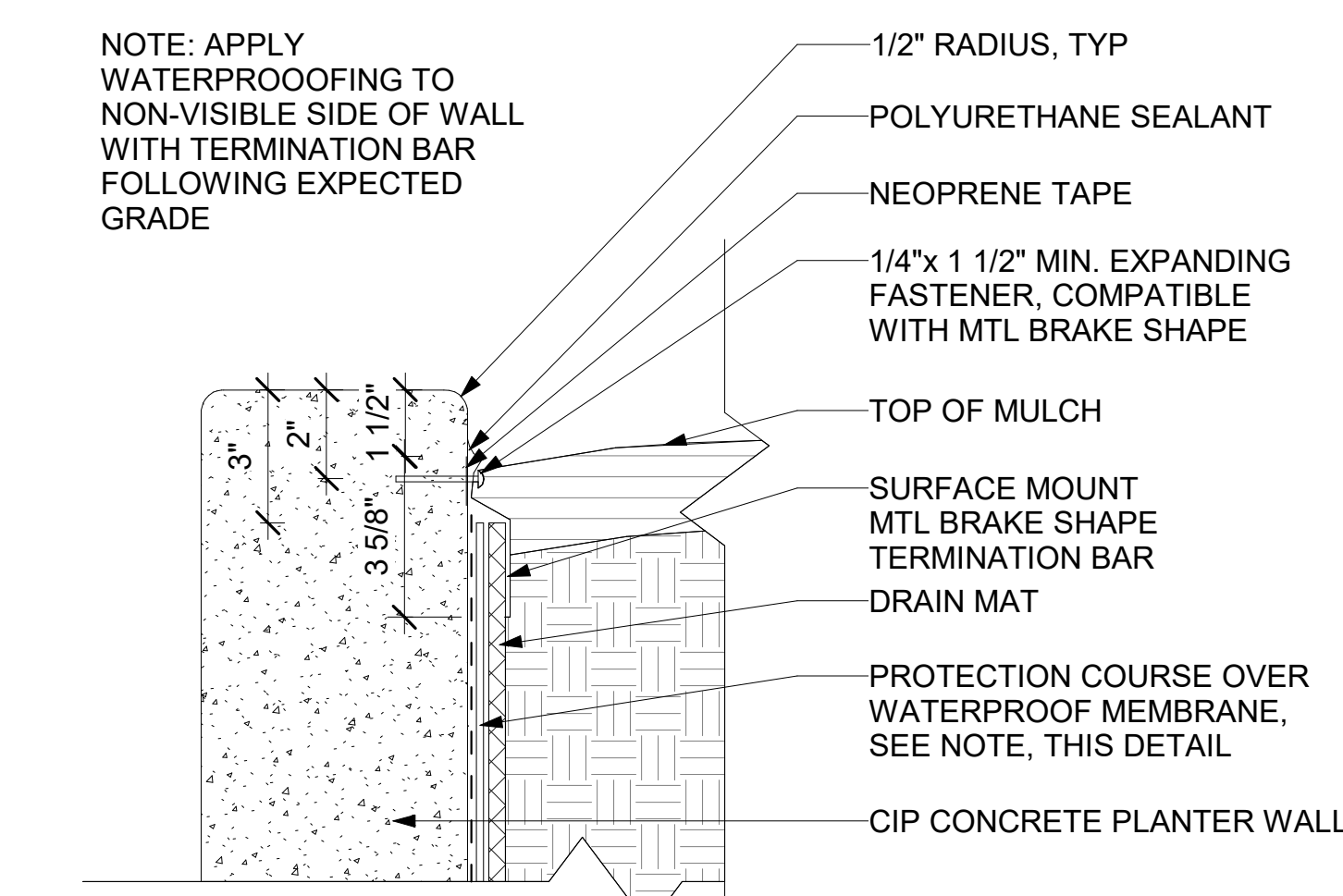
9 FREESTANDING METAL PLANTER
1 1/2" = 1'-0"



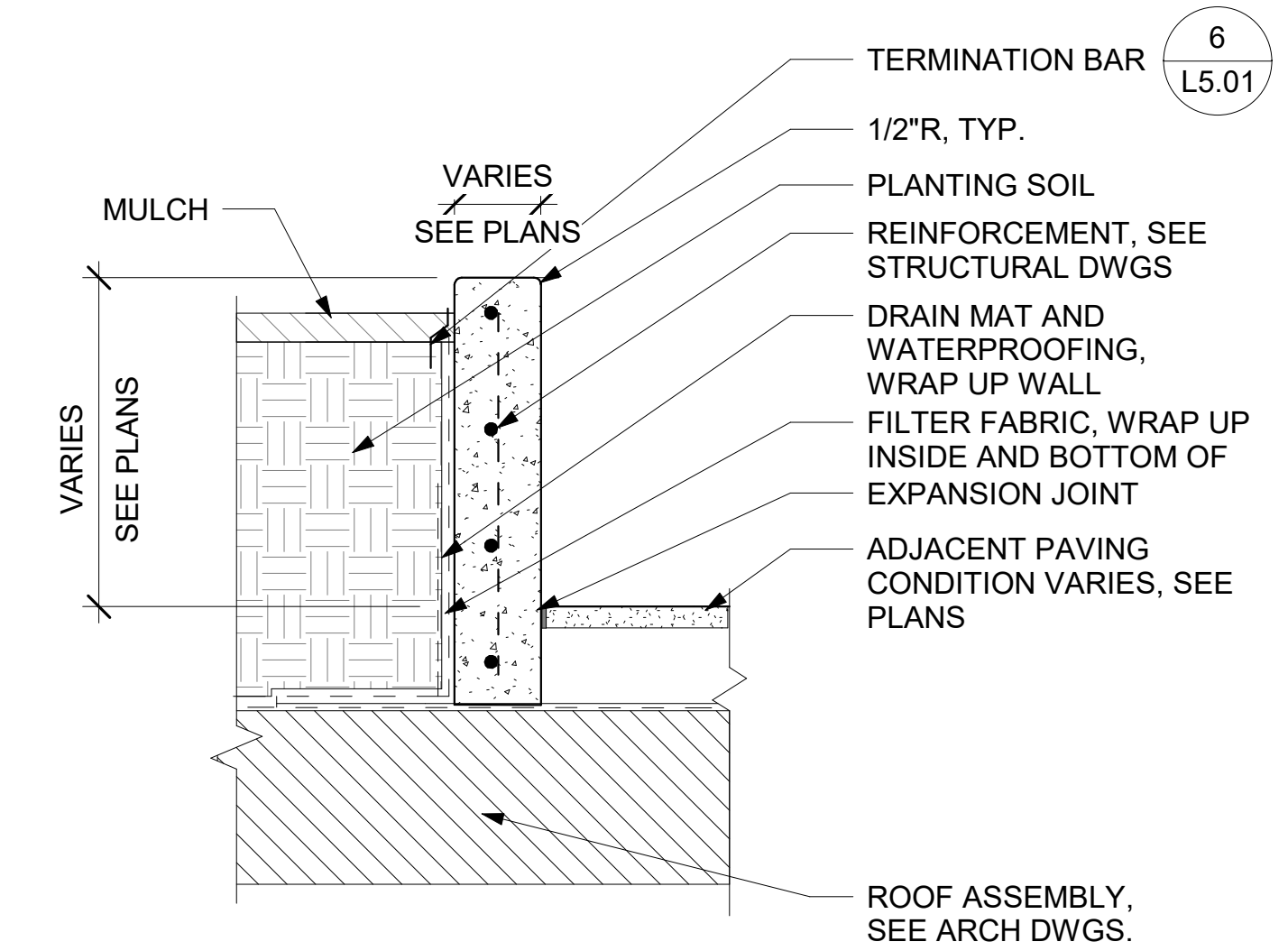
8 FABRICATED METAL PLANTER WALL ON STRUCTURE
1 1/2" = 1'-0"



7 GRANITE CURB ON STRUCTURE
1" = 1'-0"

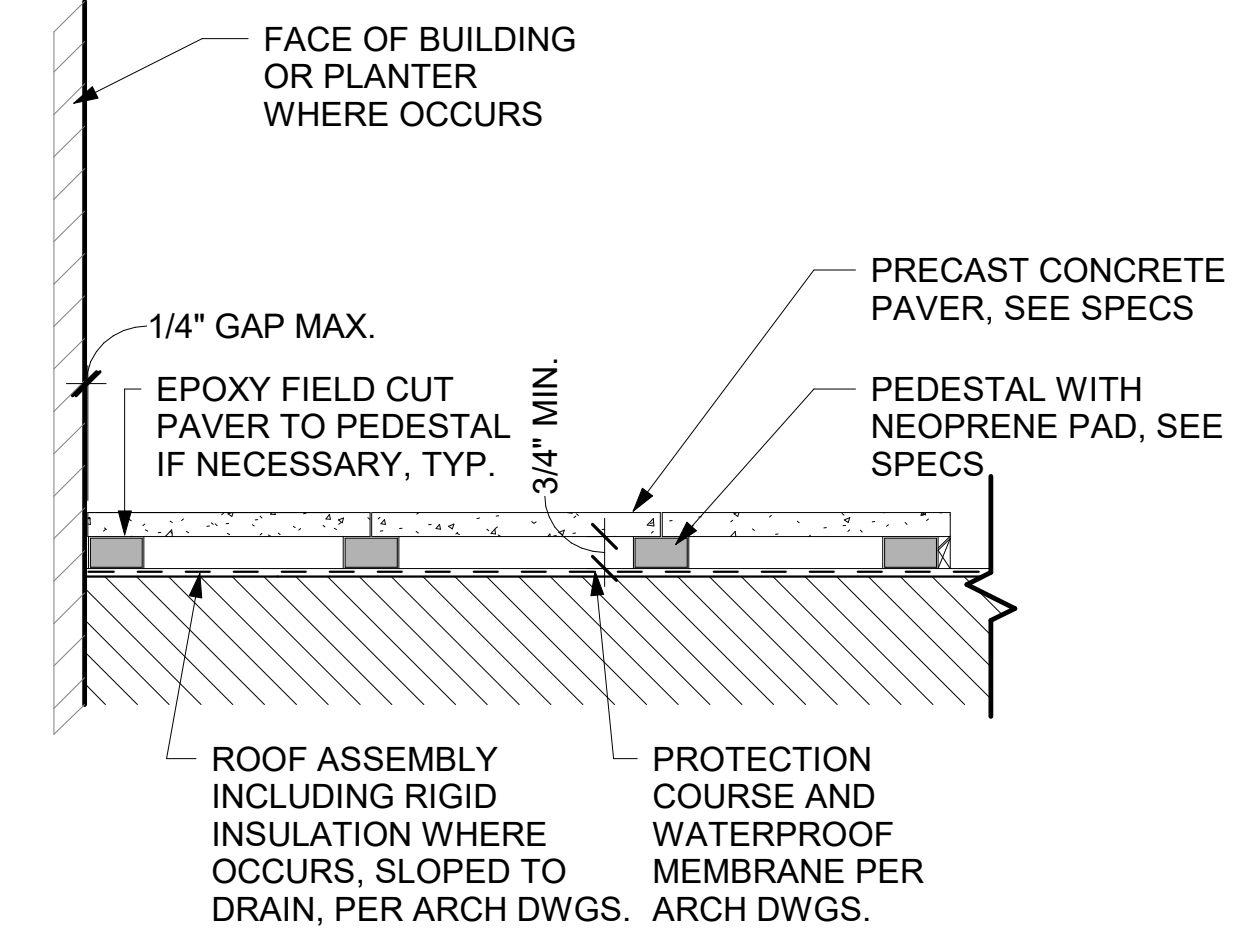


6 CIP CONCRETE WALL - TERMINATION BAR
3" = 1'-0"

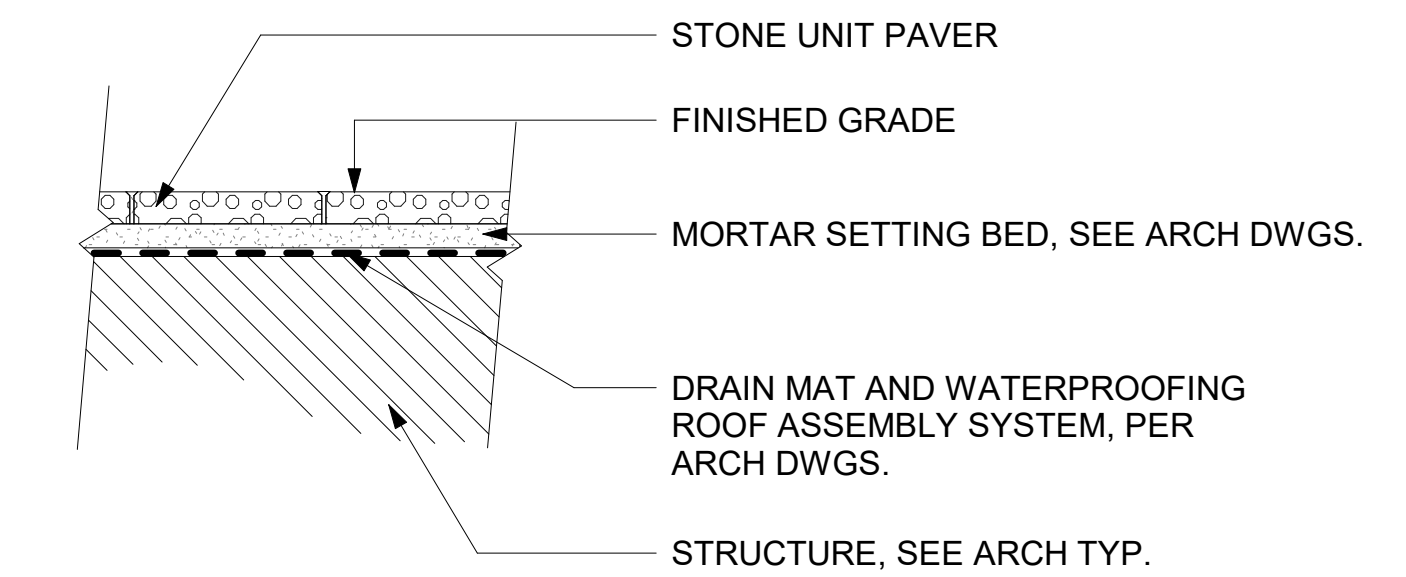


NOTES:
1. REFER TO MATERIALS LEGEND FOR FINISHES ON ALL EXPOSED VERTICAL FACES.

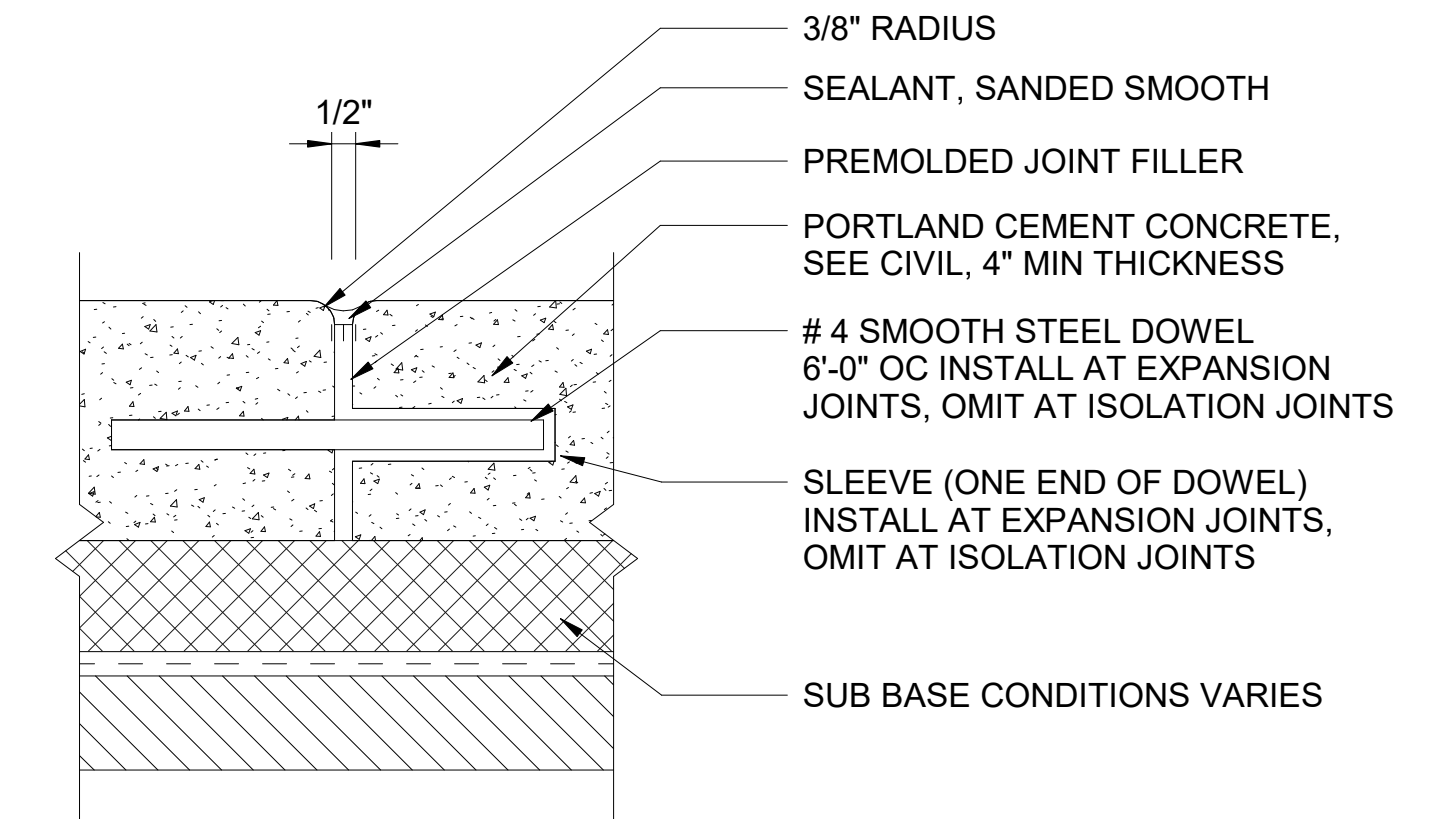
5 CIP CONCRETE WALL - ON STRUCTURE - AT GRADE
1" = 1'-0"



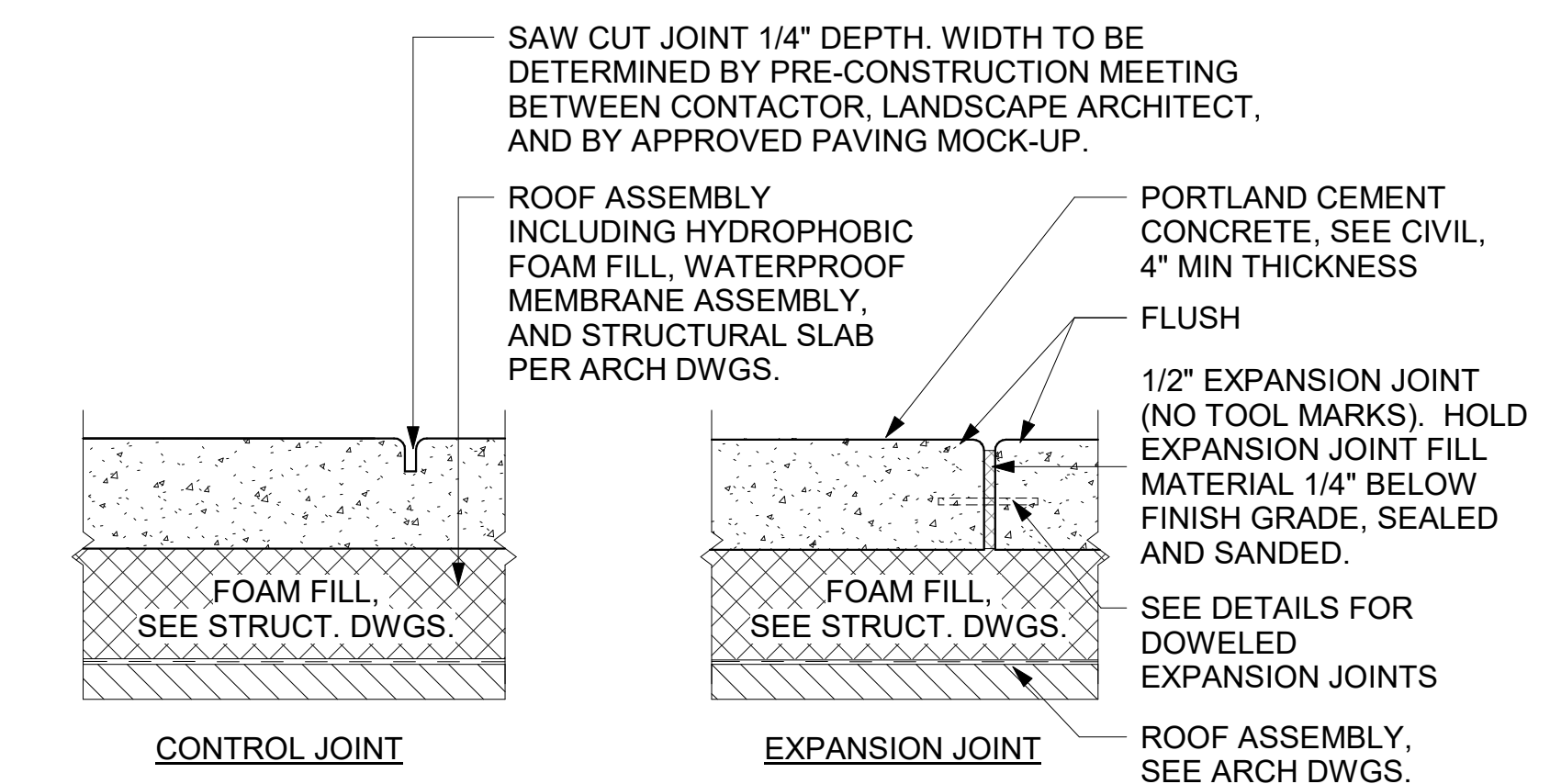
4 PEDESTAL PAVER - ON STRUCTURE
1" = 1'-0"



3 MORTAR SET PAVER - ON STRUCTURE
1" = 1'-0"

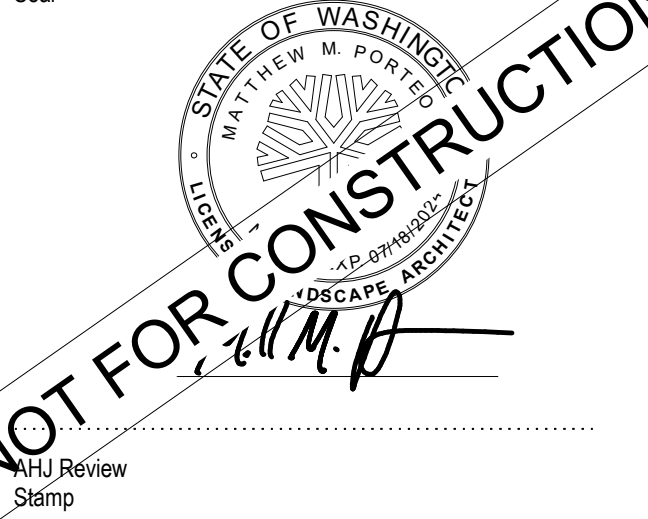


2 CIP CONCRETE PAVEMENT DOWELED JOINT - SECTION
3" = 1'-0"



NOTES:
1. SEE LAYOUT PLANS FOR PAVEMENT JOINTING.
2. SLOPE PAVEMENT TO DRAIN.
3. PROVIDE EXPANSION JOINT AT EDGE OF PAVING, SITE WALLS, BUILDING, AND OTHER VERTICAL ELEMENTS.

1 CIP CONCRETE SCORING AND JOINTING - ON STRUCTURE
3/4" = 1'-0"



Revisions	Date	Description
	08/31/2023	PERMIT SUBMITTAL
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**NORTON BUILDING
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**DESIGN
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Revisions	Date	Description
1	09/07/23	DD SET

Sheet Owner	Author
LMN Proj No	22004-01
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Sheet Title	

**LEVEL 1 DEMOLITION
PLAN**

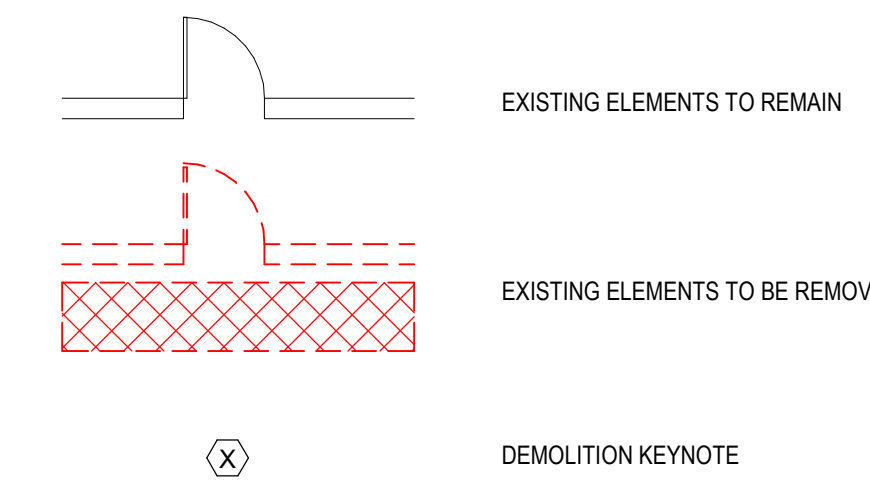
Sheet Number

2.AD003

DEMOLITION NOTES

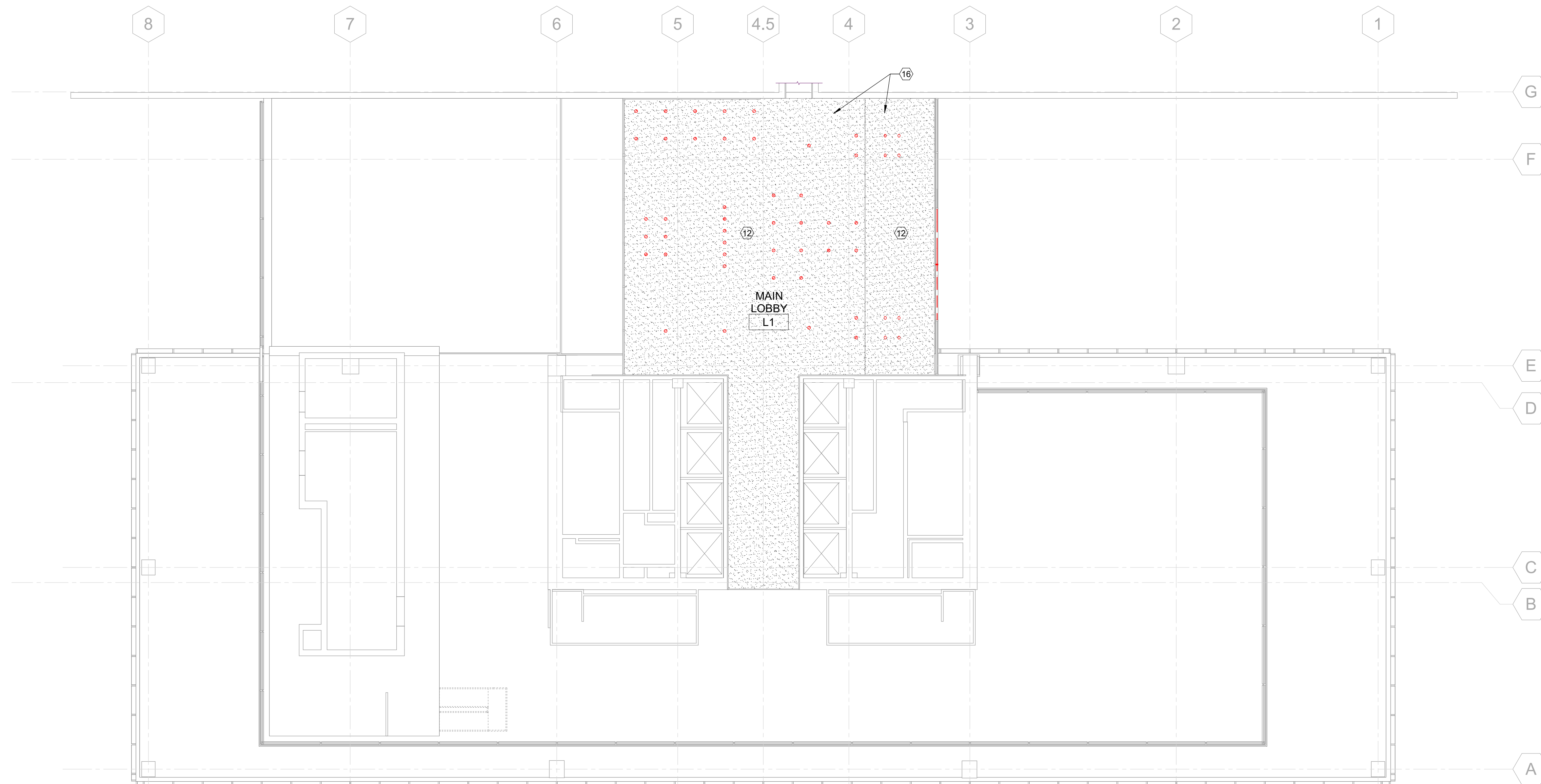
- DEMOLITION DRAWINGS INDICATE THE GENERAL EXTENT OF ALTERATIONS REQUIRED. THESE DOCUMENTS DO NOT NECESSARILY SHOW EVERYTHING TO BE REMOVED IN ORDER TO PREPARE THE EXISTING BUILDING FOR NEW CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING & SURROUNDING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND REQUEST CLARIFICATION FROM THE ARCHITECT & OWNER FOR ANY WORK IN QUESTION, PRIOR TO REMOVAL.
- IN CASES OF INTERCONNECTION OF NEW WORK WITH EXISTING, THE CONTRACTOR SHALL FIELD VERIFY ALL DATA (DIMENSIONS, ELEVATIONS, GRADES, ETC.) OF EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR RECTIFYING ALL COORDINATION OR OTHER ISSUES ARISING FROM FAILURE TO VERIFY EXISTING CONDITIONS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISC. EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO TO MECH, ELEC, PLUMB & STRUCT DRAWINGS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO DISCONNECTING ANY OPERATING EQUIPMENT, SERVICES OR UTILITIES. PROVIDE TEMP SERVICE OR EQUIPMENT TO SUPPLY UNINTERRUPTED SERVICES TO THE EXISTING BUILDING, ROOM OR EQUIPMENT.
- CONTRACTOR TO PROTECT ALL CONDITIONS TO REMAIN, THROUGHOUT THE DURATION OF CONSTRUCTION. ANY ITEMS DAMAGED OR IMPACTED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITION.
- CONTRACTOR TO PATCH & REPAIR ALL SURFACES IMPACTED BY DEMOLITION TO MATCH SURROUNDING FINISH CONDITIONS. NEW FINISH TO MATCH EXISTING IN COLOR, TEXTURE & THICKNESS, ETC. TO SATISFACTION OF OWNER.
- AT PENETRATIONS OF FIRE RATED WALLS, CEILINGS, FLOORS OR ROOF, COMPLETELY SEAL VOIDS WITH FIRE RATED CONSTRUCTION FOR FULL THICKNESS OF THE EXISTING ELEMENT TO MAINTAIN RATING IN ACCORDANCE WITH AHJ.

DEMOLITION LEGEND

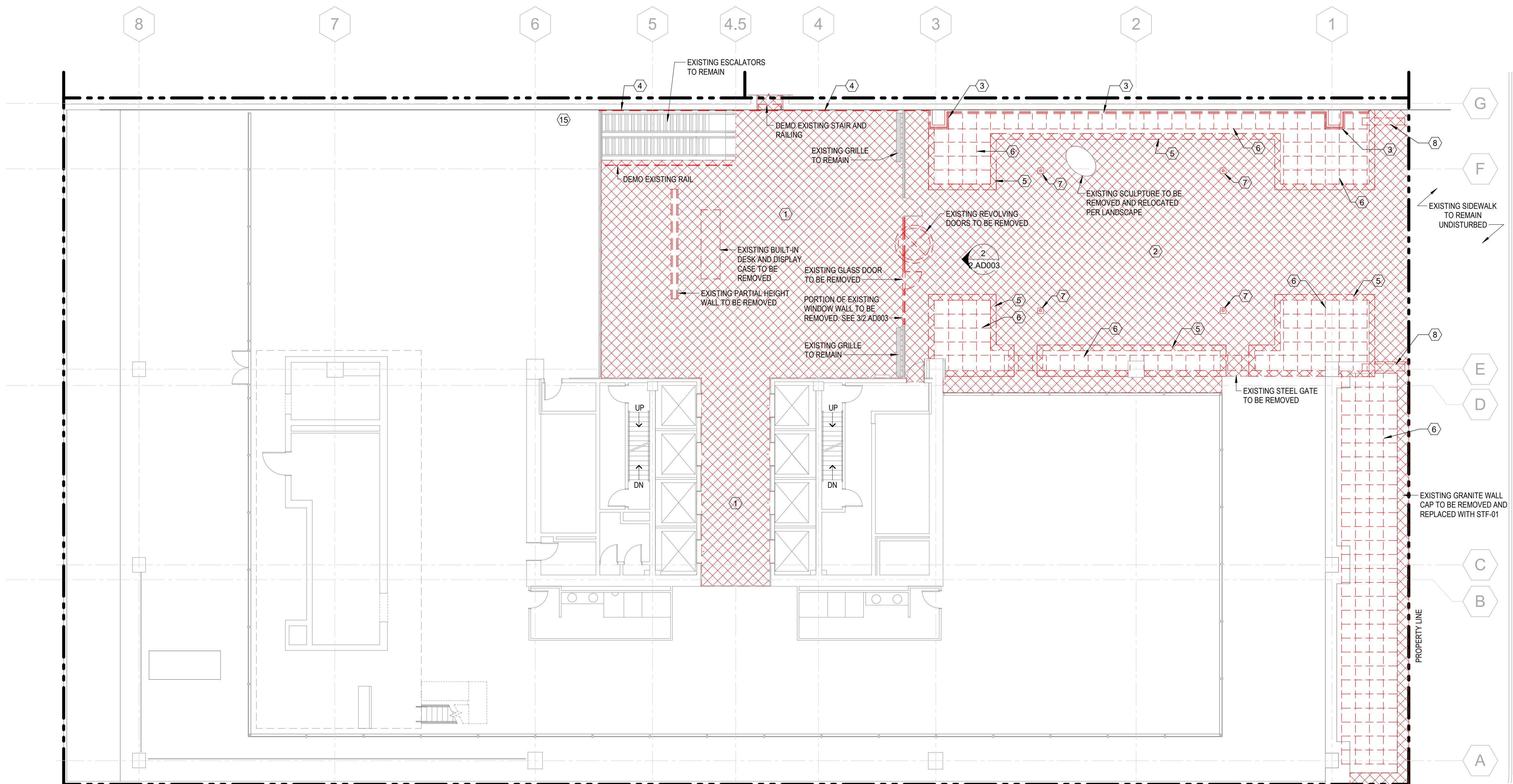


DEMOLITION NOTES

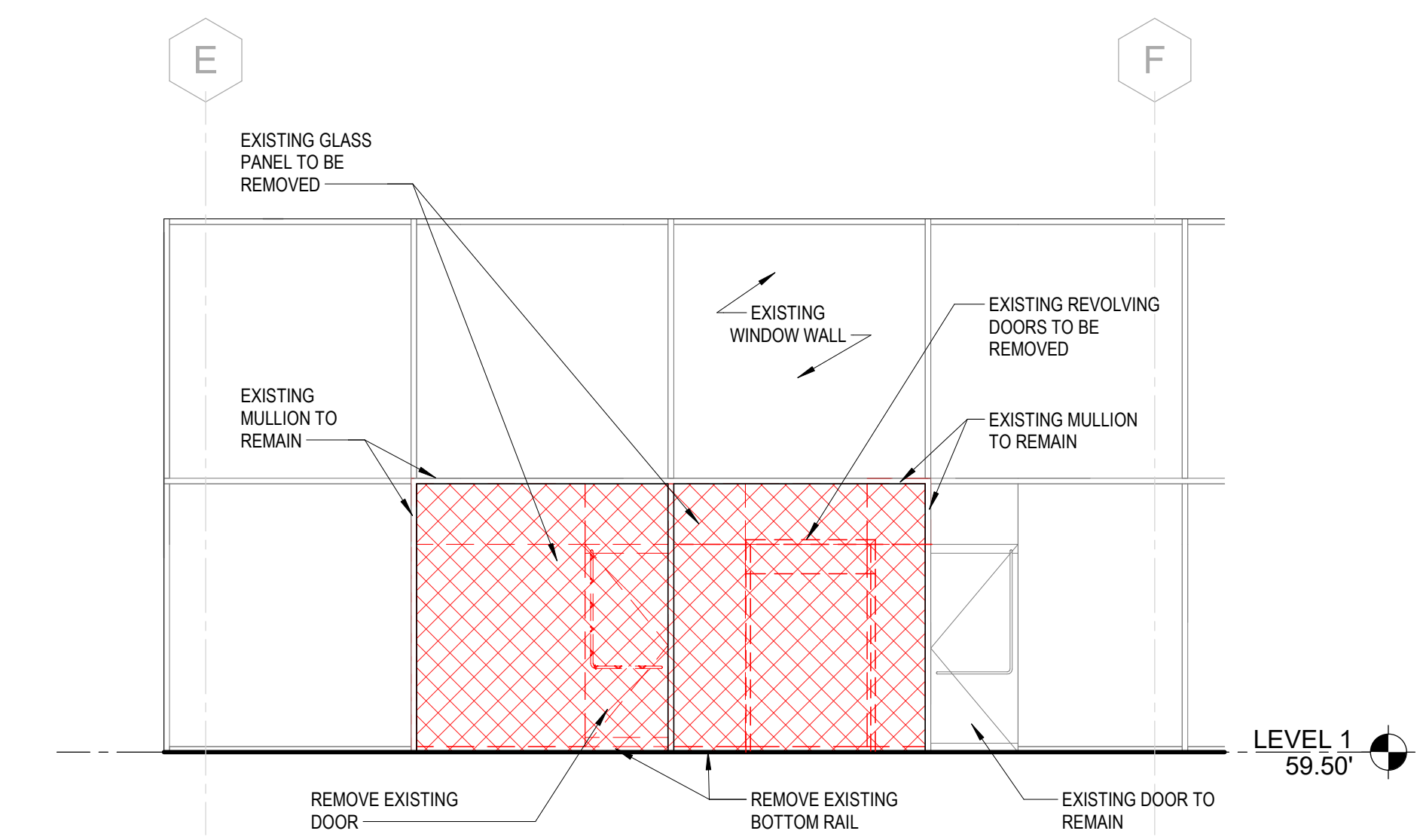
- DEMO EXISTING STONE FLOORING, MORTAR BED, AND CARPETING COMPLETELY. PATCH/REPAIR EXISTING CONCRETE TO RECEIVE NEW FLOOR FINISH.
- DEMO EXISTING STONE PAVERS, MORTAR BED AND WATERPROOFING COMPLETELY.
- REMOVE EXISTING STONE WALL FINISH AND LIGHT GAUGE FRAMING COMPLETELY. REMOVE AND SALVAGE STONE TILES.
- REMOVE EXISTING WALL FINISH COMPLETELY.
- DEMO EXISTING RAISED PLANTERS COMPLETELY.
- DEMO EXISTING TRELIS COMPLETELY.
- DEMO EXISTING POLE LIGHTS COMPLETELY.
- DEMO EXISTING MONUMENT SIGNS COMPLETELY.
- DEMO EXISTING INTERIOR WALL COMPLETELY.
- DEMO EXISTING DOOR AND FRAME COMPLETELY.
- REMOVE EXISTING PLUMBING FIXTURES COMPLETELY.
- REMOVE EXISTING LIGHTING FIXTURES COMPLETELY. PATCH AND REPAIR GYP CEILING WHERE REQUIRED. EXISTING CAMERAS, GRILLES, EXIT SIGNAGE TO REMAIN.
- REMOVE EXISTING SIGNAGE.
- ALTERNATE A: DEMO OLD LMN SHOP ITEMS INCLUDING SINK WITH EYEWASH STATION, PAINT HOOD TABLE, LASER HOODS, 3D PRINTER HOOD, ASSOCIATED FILTERS AND BLOWER, AND THE ASSOCIATED EXHAUST DUCTWORK THAT IS IN THE CORRIDOR TO THE LOADING DOCK. INCLUDE MARKUPS AND DUMP FEES IN THE ALTERNATE COST.
- FIRST FLOOR TENANT PINK GRANITE WALL AND FAUX COLUMN TO REMAIN.
- ALTERNATE: DEMOLISH CEILING AND LIGHT FIXTURES COMPLETELY.



3 LOBBY LEVEL DEMO RCP
2.AD003 3/32" = 1'-0"



1 LEVEL 1 DEMOLITION PLAN
2.AD003 3/32" = 1'-0"



2 LOBBY ELEVATION - DEMO
2.AD003 3/16" = 1'-0"

**NORTON BUILDING
MODERNIZATION**

801 Second Avenue
Seattle, WA 98104

Submittal

**DESIGN
DEVELOPMENT**

Revisions	Date	Description
	09/07/23	DD SET

Sheet Owner	SM
LMN Proj No	22004-01
Date	09/07/2023

Sheet Title

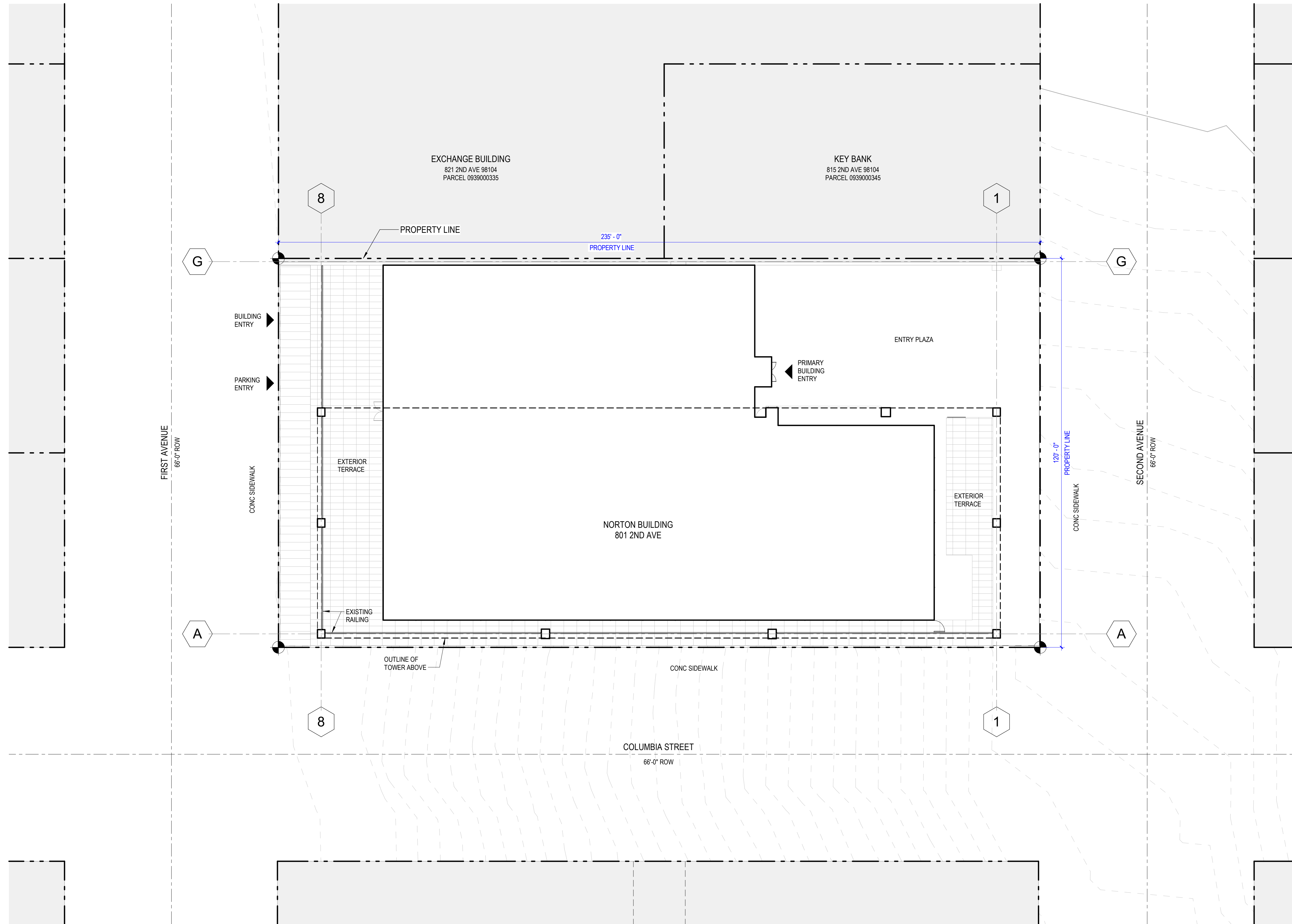
SITE PLAN

Sheet Number

2.A011

SITE INFORMATION

PROJECT ADDRESS:	NORTON BUILDING 801 SECOND AVENUE SEATTLE, WA 98104
PARCEL NUMBER:	093900-0355
LEGAL DESCRIPTION:	BOREN AND DENNY'S ADD LESS ST & POR OF VAC ALLEY ADJ (VO 56715)
PLAT BLOCK:	8
PLAT LOT:	5 THRU 8
ZONING:	DMC 340 / 290-440
BUILDING OCCUPANCY:	B/S
CONSTRUCTION TYPE:	1-A
LOT AREA:	28,200 SF
TOTAL BUILDING AREA:	214,800 GSF
MAXIMUM ALLOWED BUILDING AREA:	UNLIMITED
NUMBER OF STORIES:	17 STORIES + 1 STORY BELOW GRADE



5 SITE PLAN
2.A011 1/16" = 1'-0"



**NORTON BUILDING
MODERNIZATION**

**DESIGN
DEVELOPMENT**

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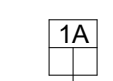


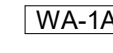
Sheet Owner	Author
LMN Proj No	22004-01
Date	09/07/2023
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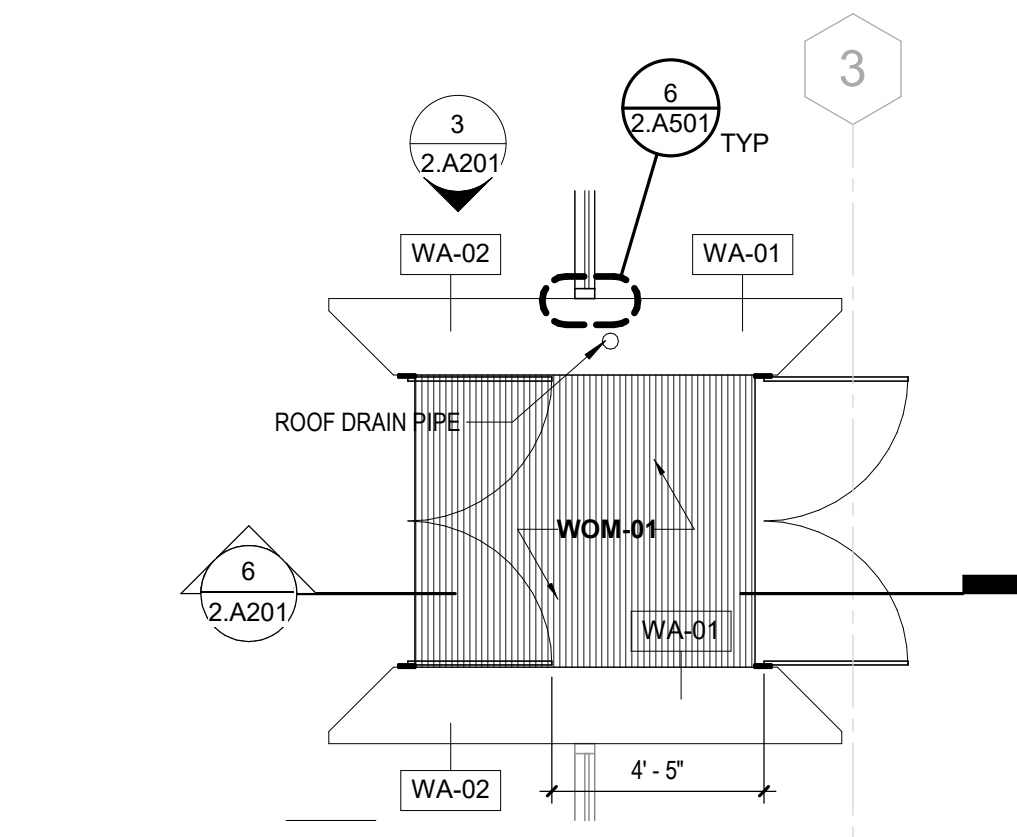
**LEVEL 1 FLOOR
PLAN**

PLAN NOTES

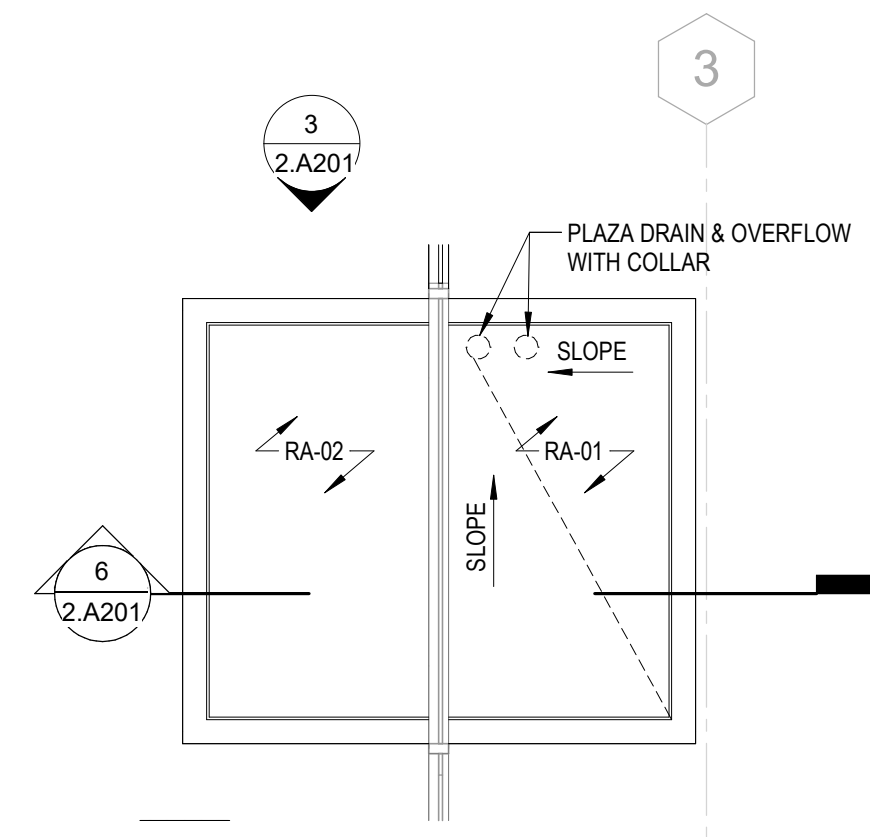
1. ALL DIMENSIONS ARE TO F.O. FINISH OR GRIDLINE, UNLESS NOTED OTHERWISE.
2. SEE SHEET A701 FOR PARTITION TYPES. ALL PARTITIONS TO BE TYPE 1A UNLESS NOTED OTHERWISE.
3. ALL DOORS NOT LOCATED BY DIMENSION TO BE POSITIONED 4" FROM FACE OF HINGE JAMB TO FACE OF FINISH @ ADJACENT PARTITION.
4. CONTRACTOR TO COORDINATE AND PROVIDE SOLID BLOCKING OR STRAPPING AS REQUIRED TO SUPPORT ALL WALL HUNG FIXTURES, CABINETS, RAILINGS, OR ANY OTHER ACCESSORIES THAT MAY REQUIRE SUPPORT.
5. ALL EXTERIOR WORK TO OCCUR WITHIN PROPERTY LINES

PLAN LEGEND

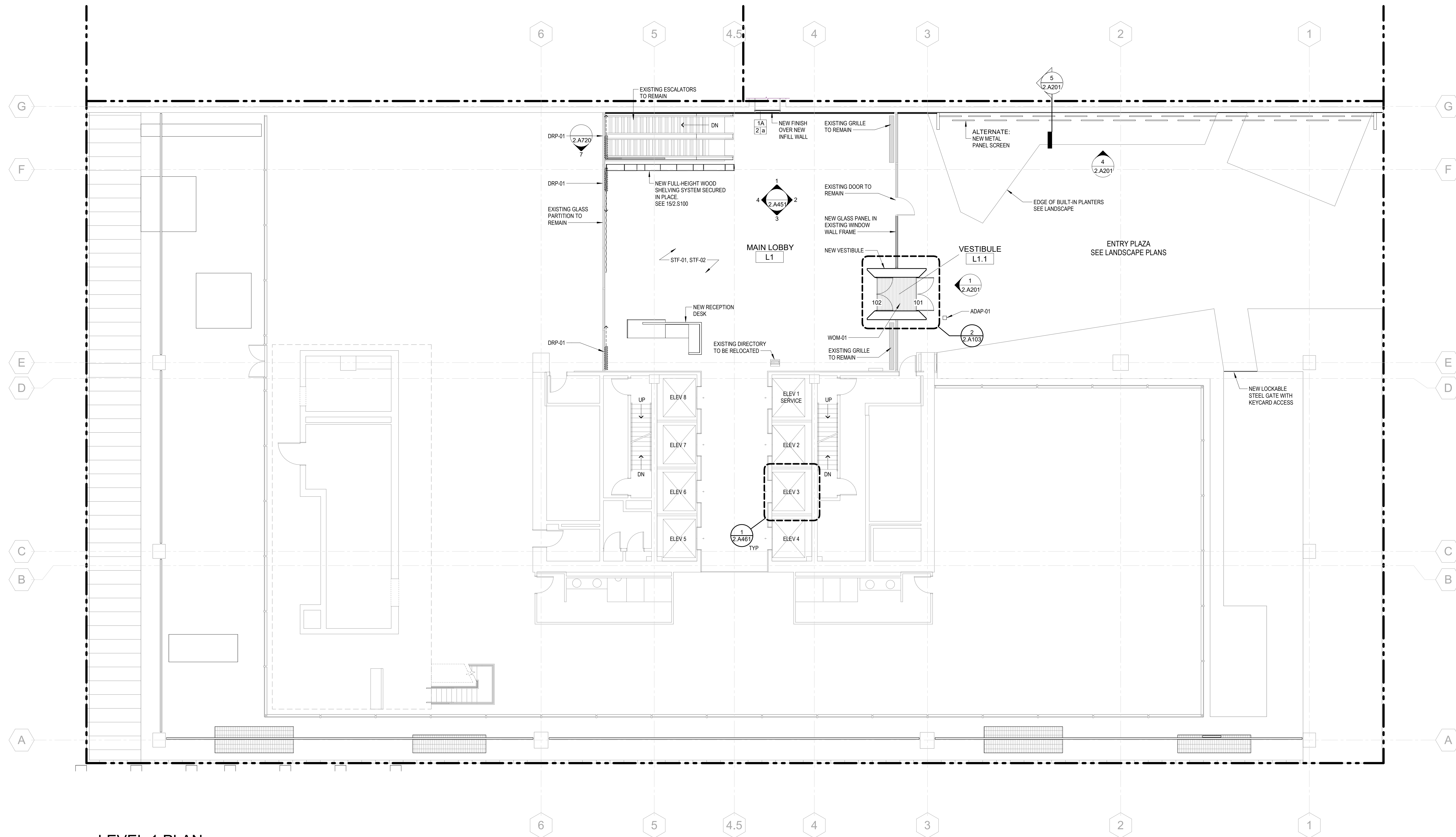
-  PARTITION TYPE (SEE SHEET 2.A701)
-  NEW PARTITION
-  EXISTING PARTITION TO REMAIN
-  EXTERIOR ASSEMBLY TYPE



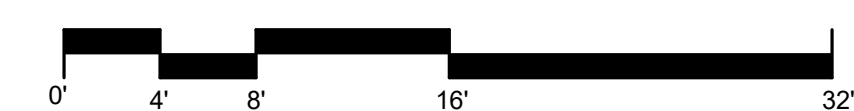
2 VESTIBULE - PLAN
2.A103 1/4" = 1'-0"



3 VESTIBULE - ROOF PLAN
2.A103 1/4" = 1'-0"



1 LEVEL 1 PLAN
2.A103 1/8" = 1'-0"



**NORTON BUILDING
MODERNIZATION**

801 Second Avenue
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**DESIGN
DEVELOPMENT**

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LMN Proj No	22004-01

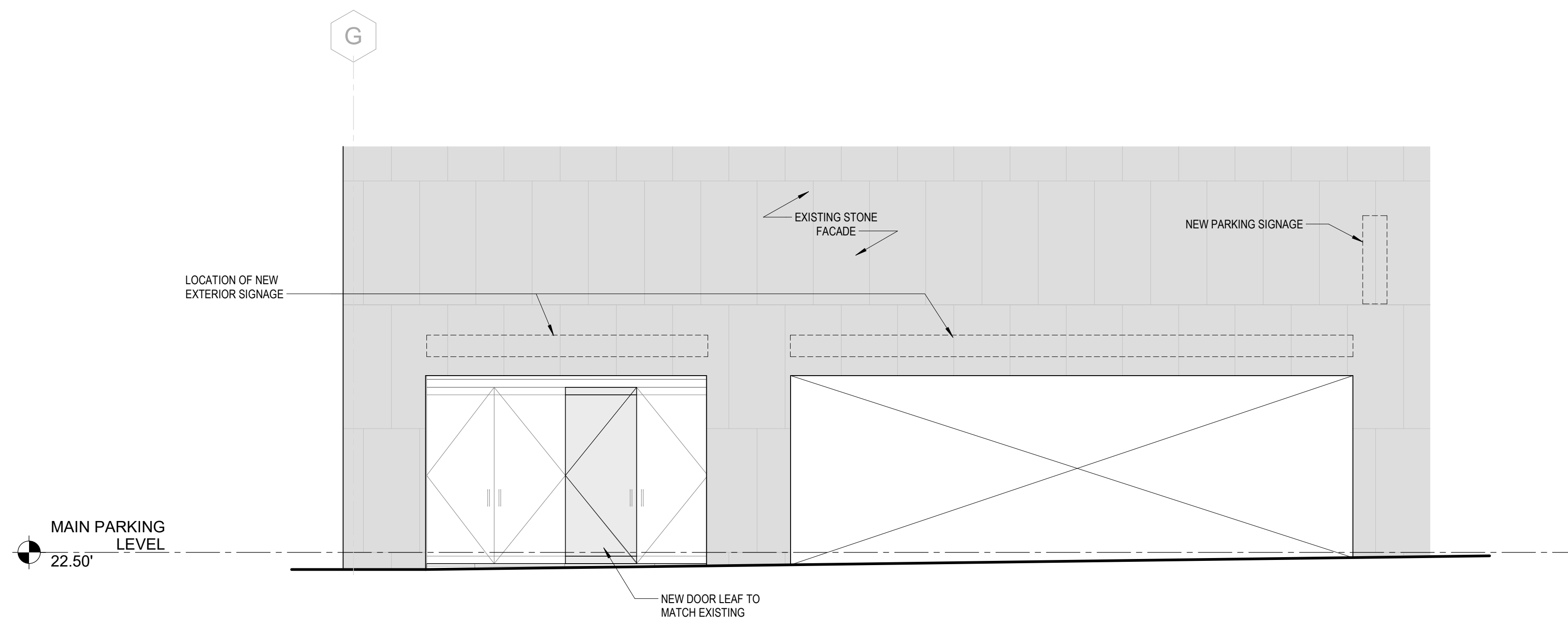
Date 09/07/2023

Sheet Title

**BUILDING SECTIONS
& ELEVATIONS**

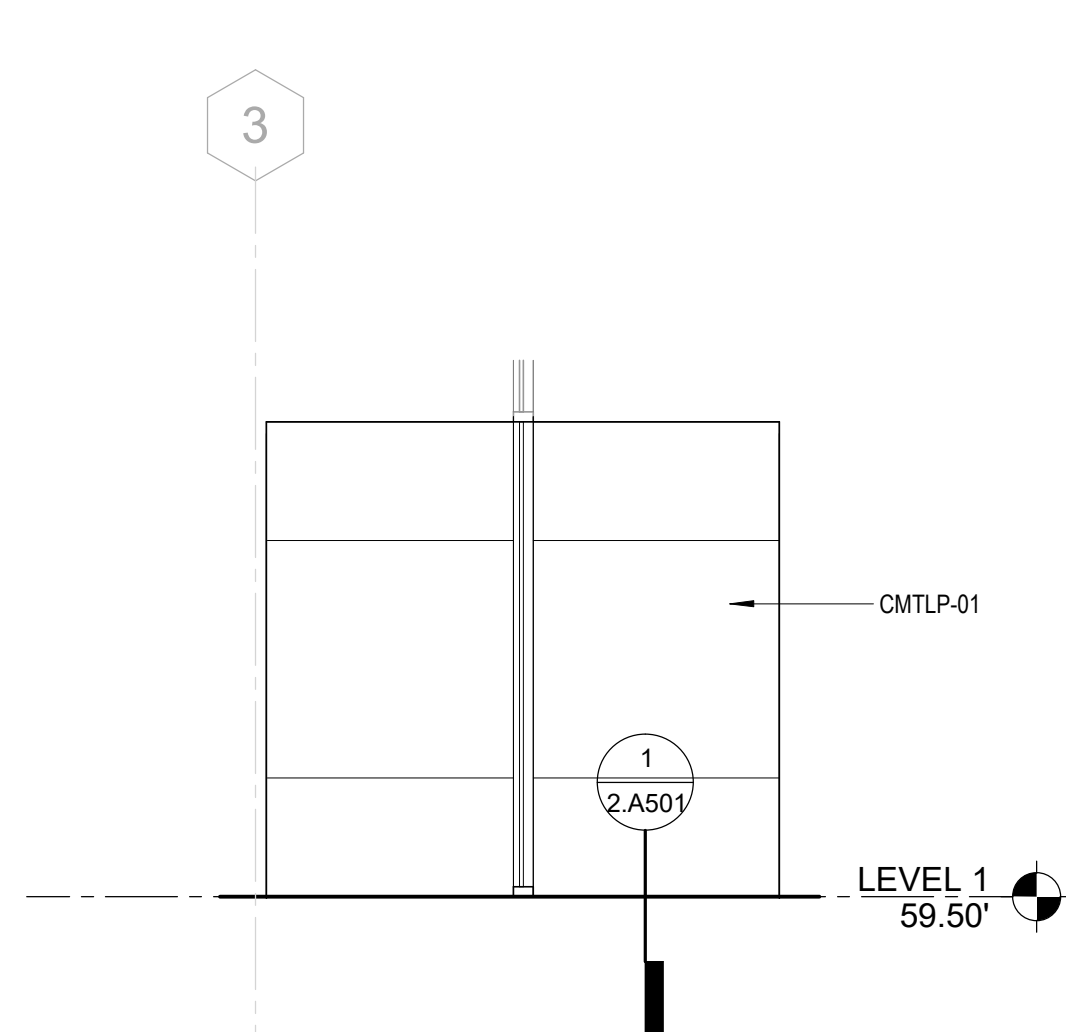
Sheet Number

2.A201



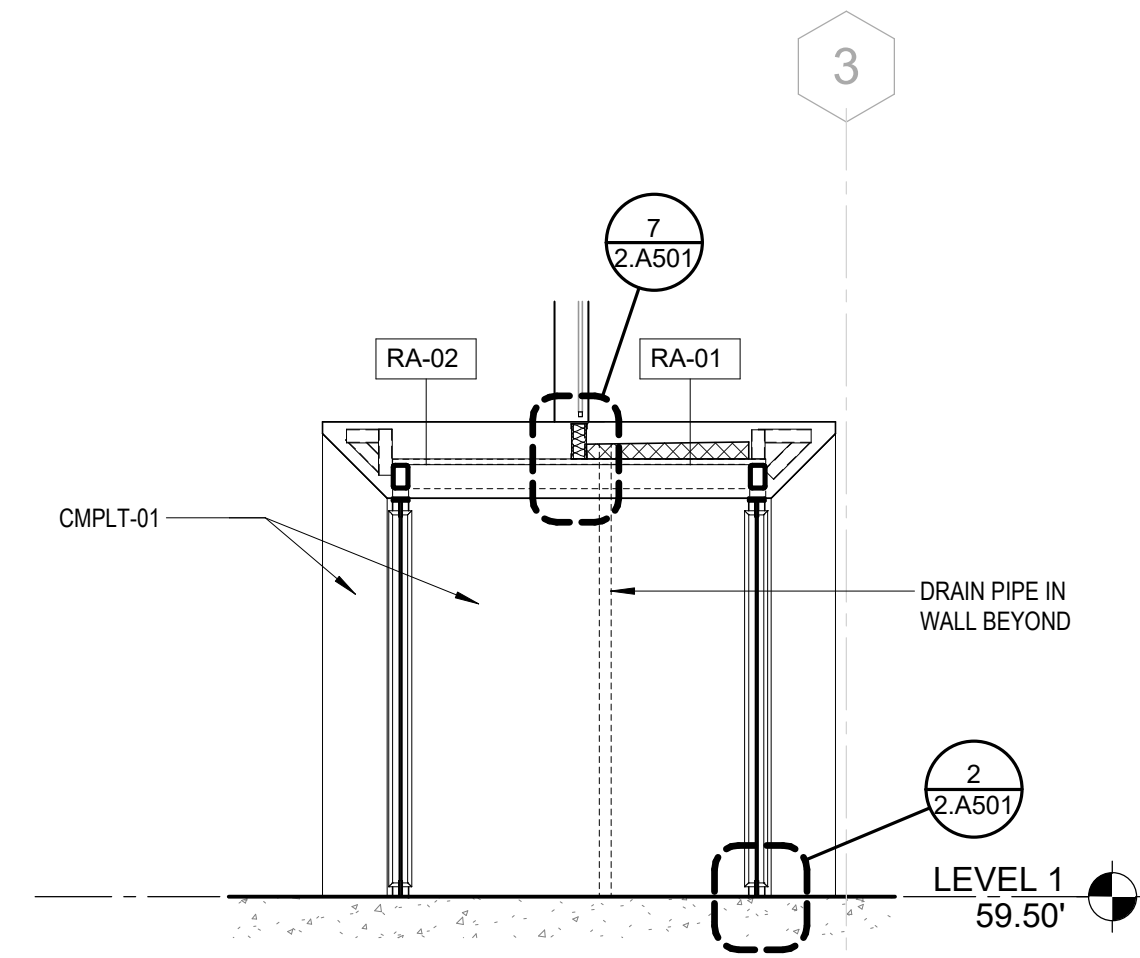
2
2.A201 1/4" = 1'-0"

1ST AVE ENTRY ELEVATION



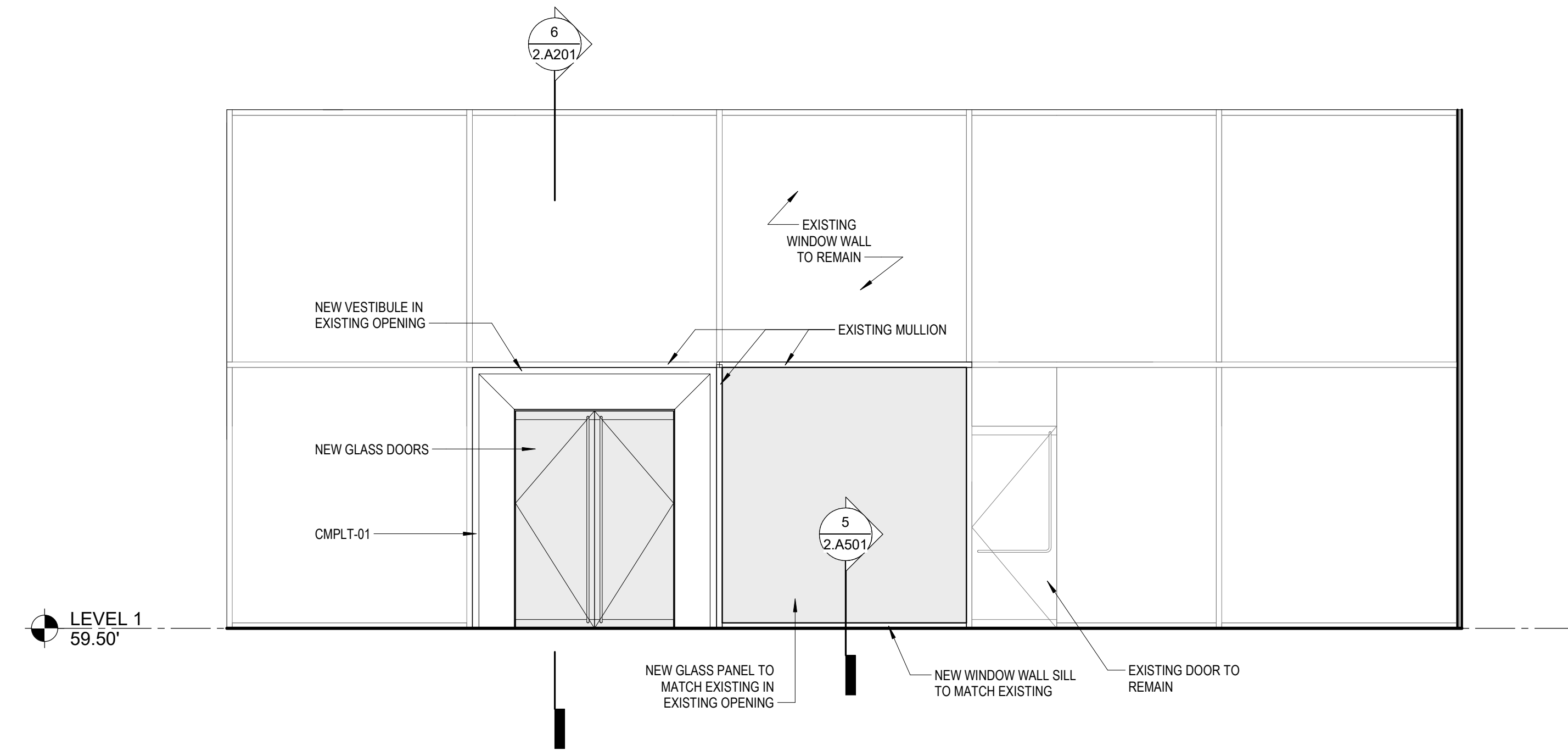
3
2.A201 1/4" = 1'-0"

VESTIBULE NORTH ELEVATION
(VESTIBULE SOUTH SIM.)



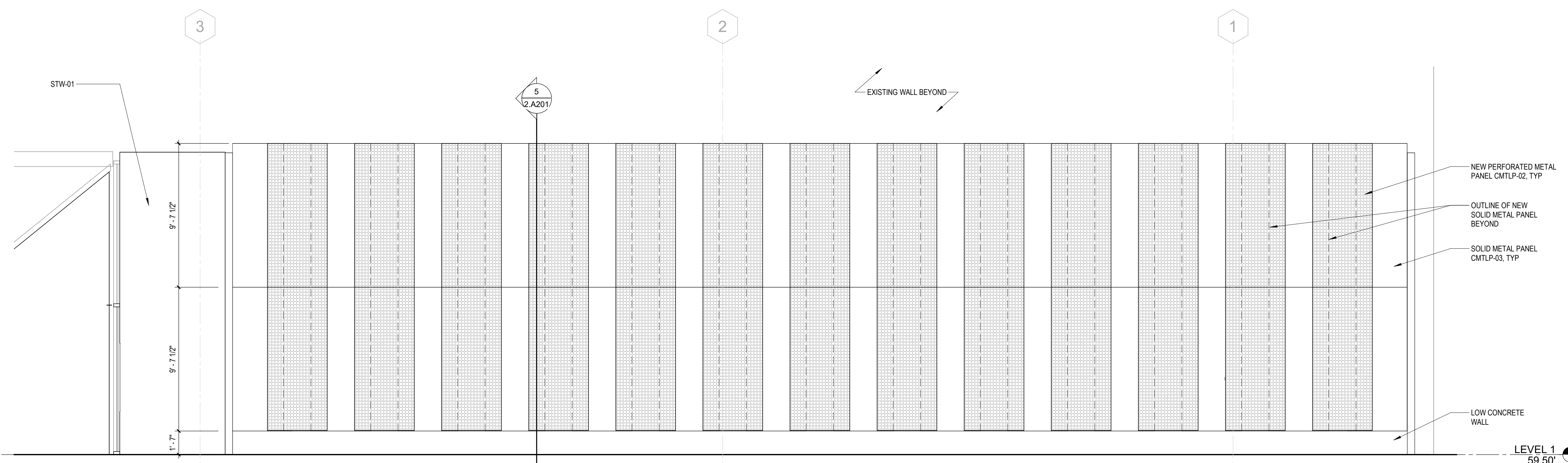
6
2.A201 1/4" = 1'-0"

SECTION THROUGH VESTIBULE



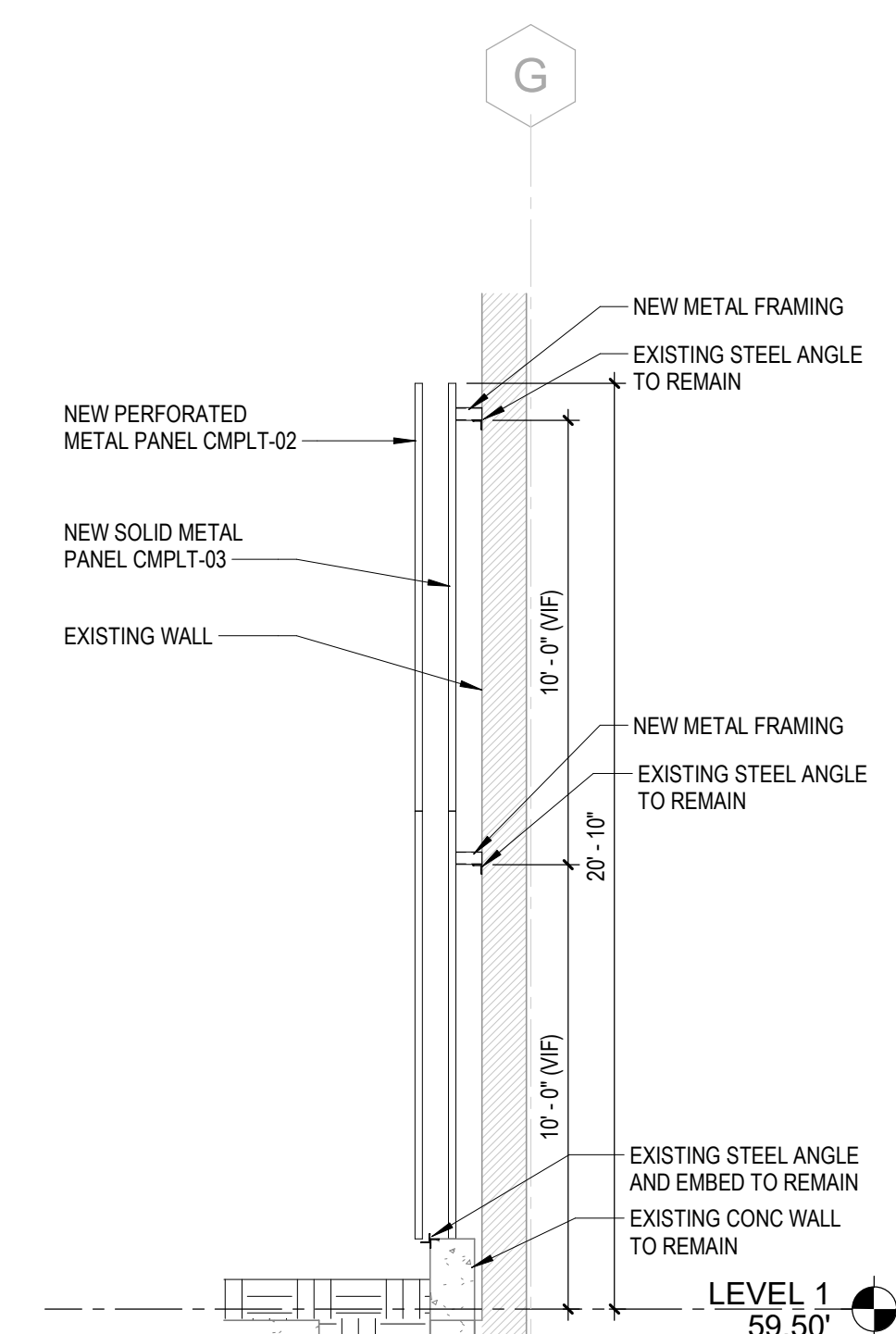
1
2.A201 1/4" = 1'-0"

EAST ELEVATION



4
2.A201 1/4" = 1'-0"

**ALTERNATE
SCREEN WALL**



5
2.A201 1/4" = 1'-0"

**ALTERNATE
SCREEN WALL SECTION**

**NORTON BUILDING
MODERNIZATION**

801 Second Avenue
Seattle, WA 98104

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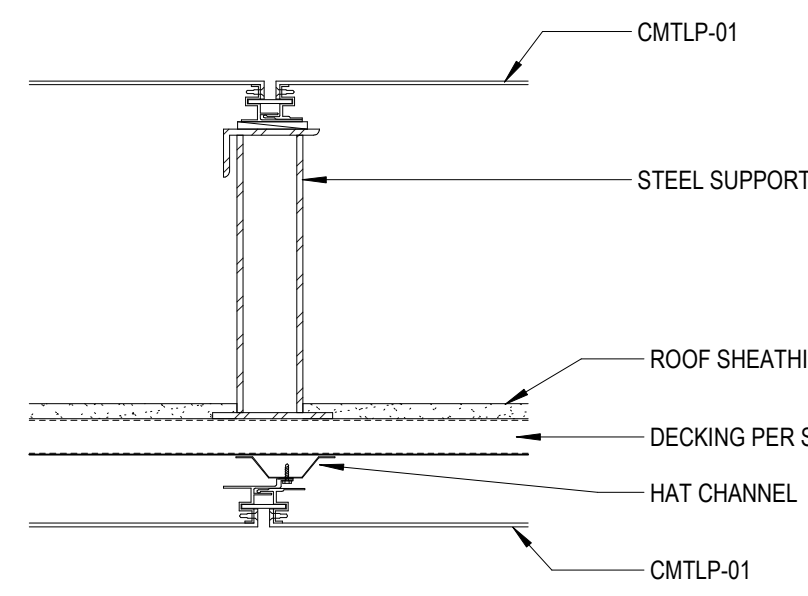
**DESIGN
DEVELOPMENT**

Revisions	Date	Description
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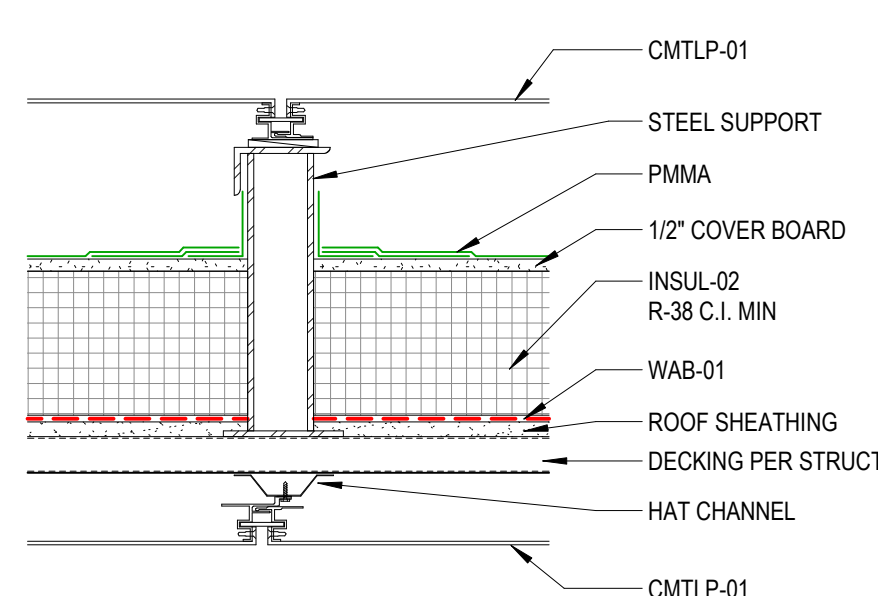
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**THERMAL ASSEMBLY
TYPES & EXTERIOR
DETAILS**

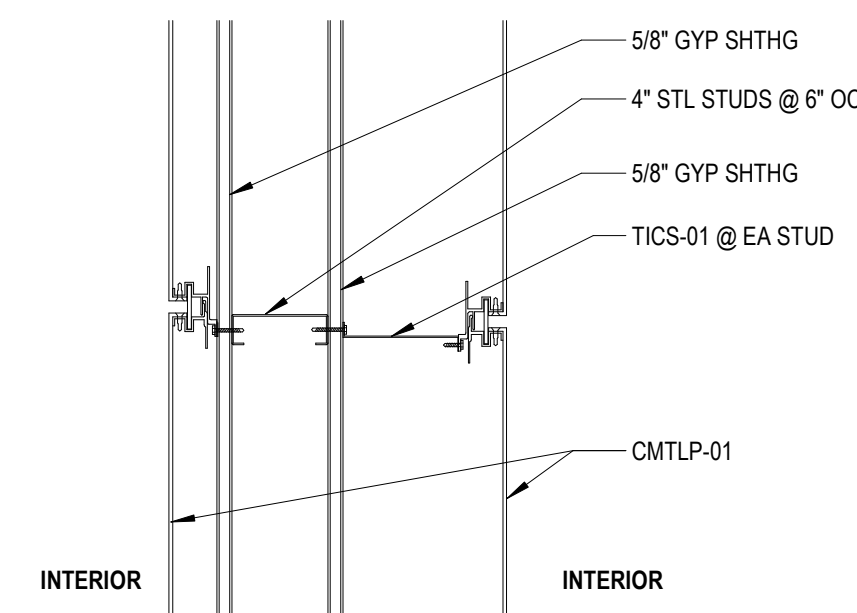
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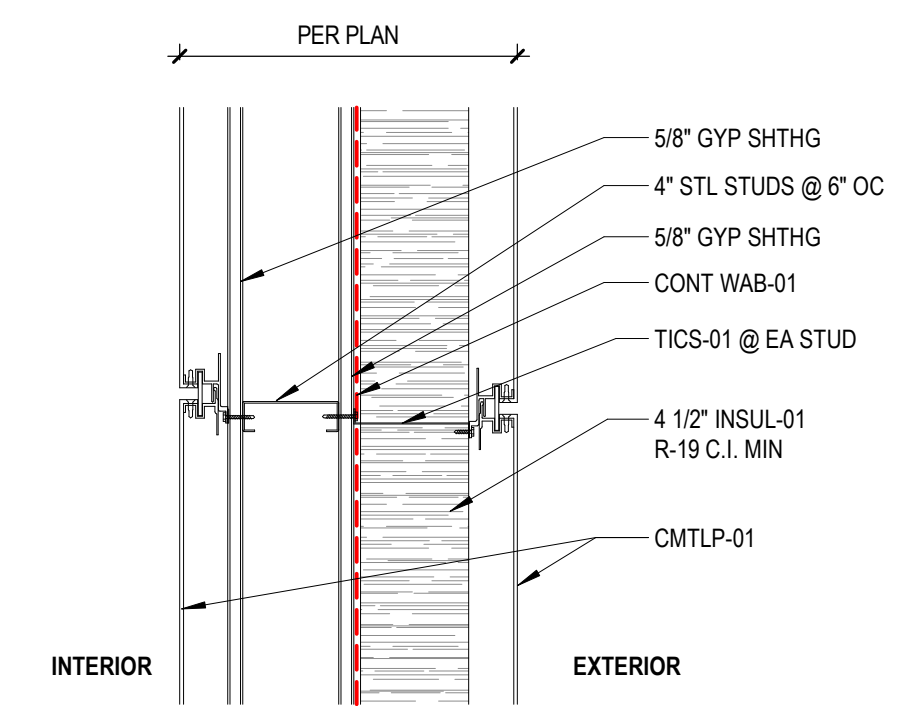
10 RA-02
2 A501 1 1/2" = 1'-0"



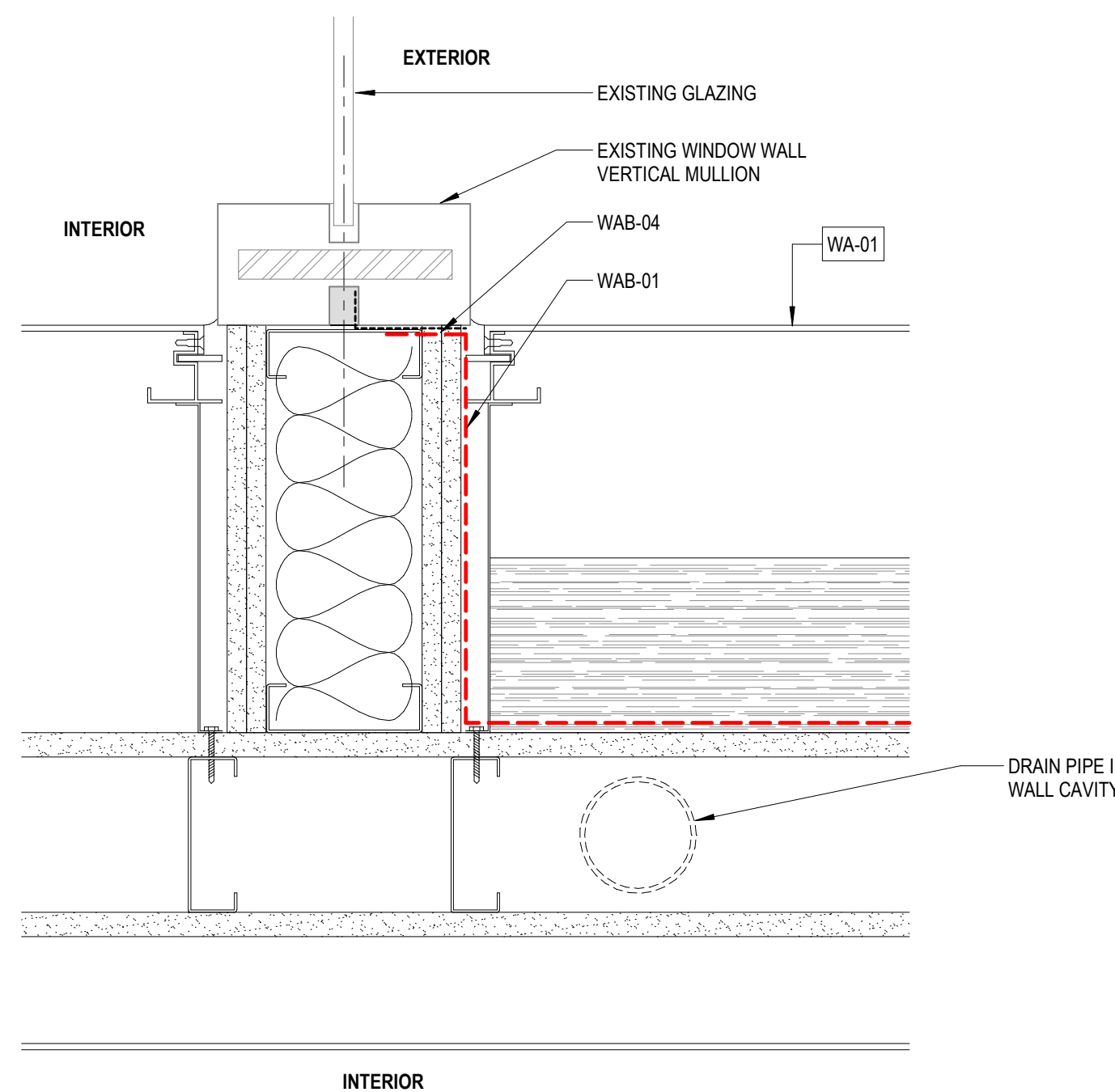
3 RA-01
2 A501 1 1/2" = 1'-0"



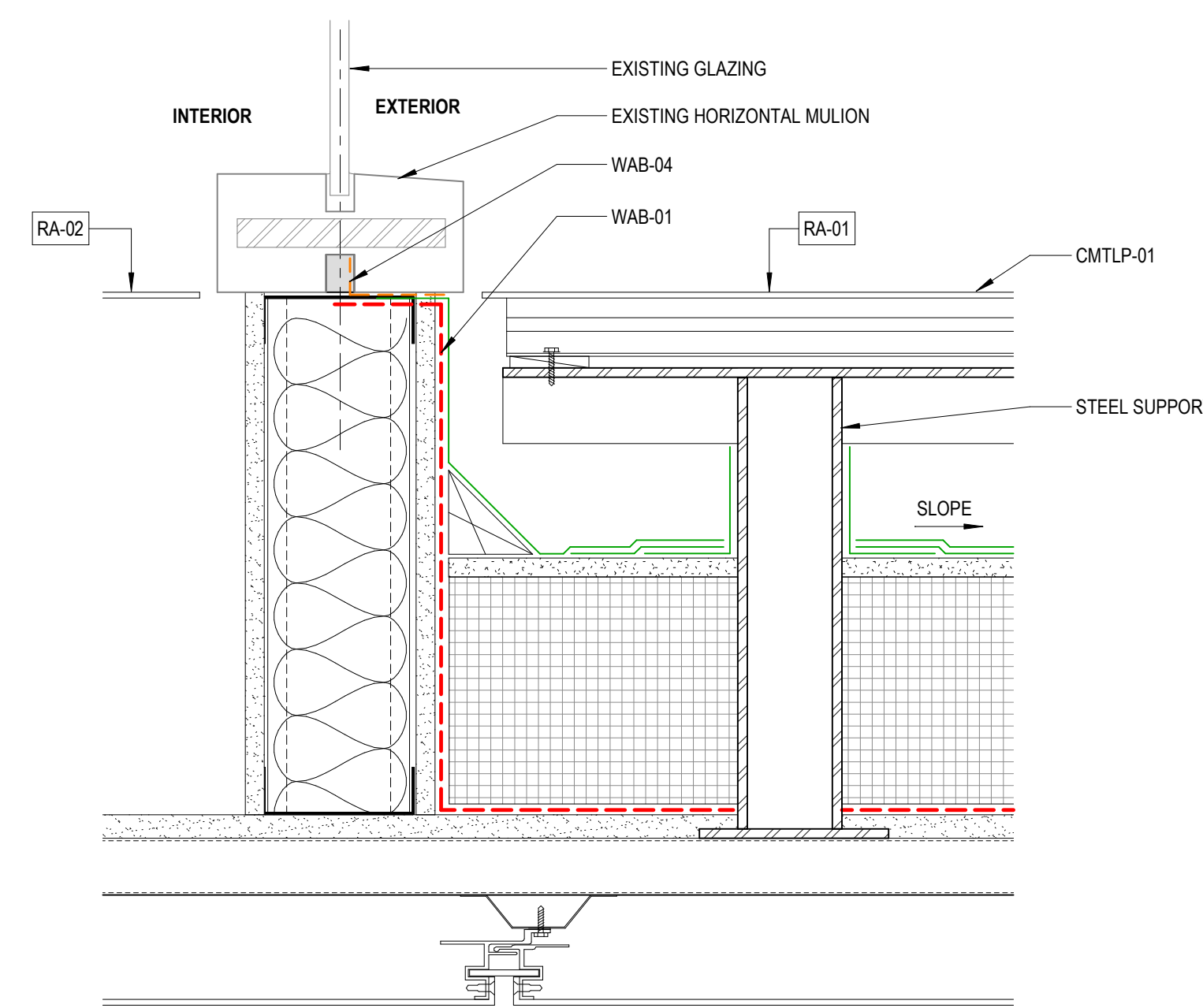
9 WA-02
2 A501 1 1/2" = 1'-0"



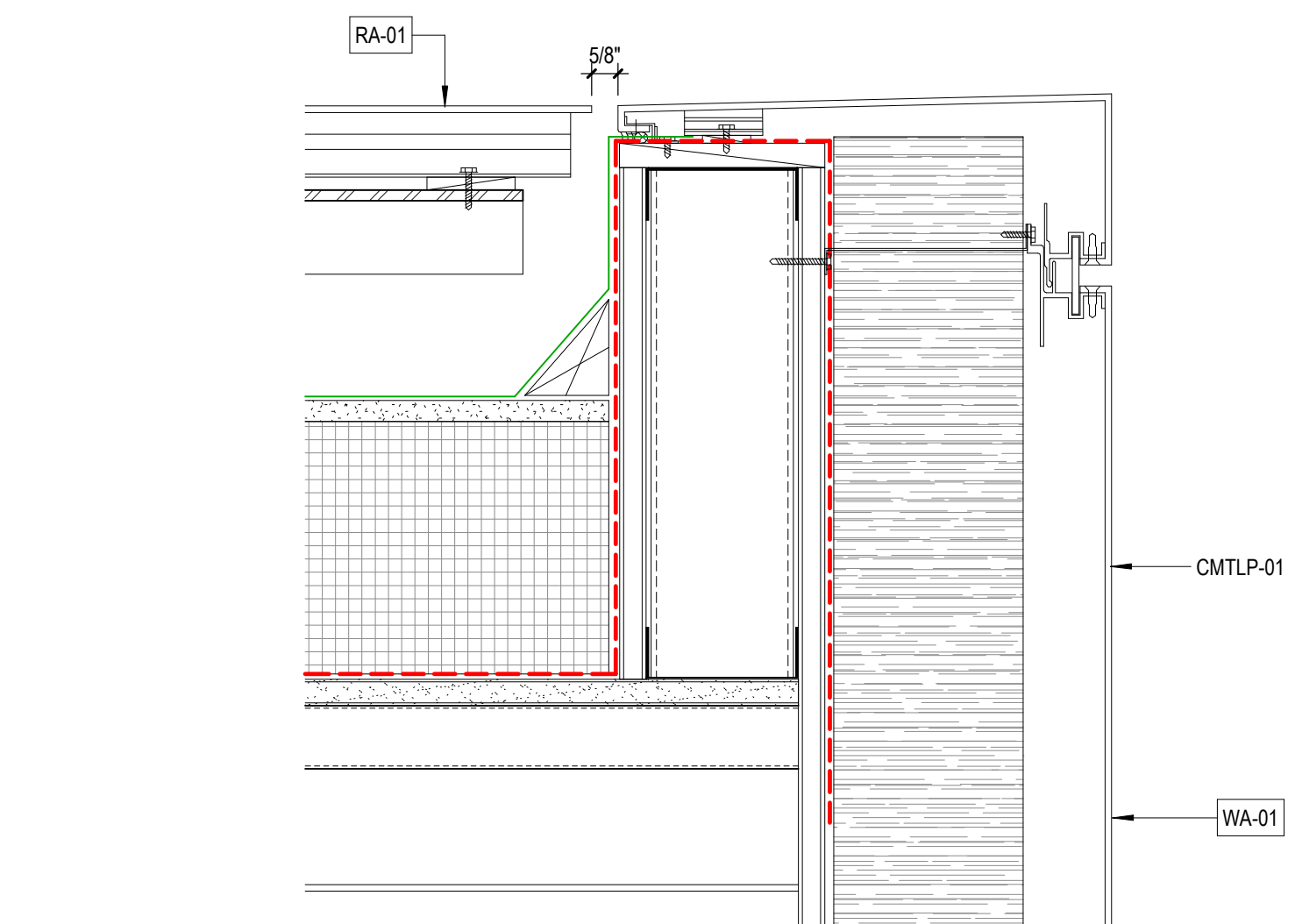
4 WA-01
2 A501 1 1/2" = 1'-0"



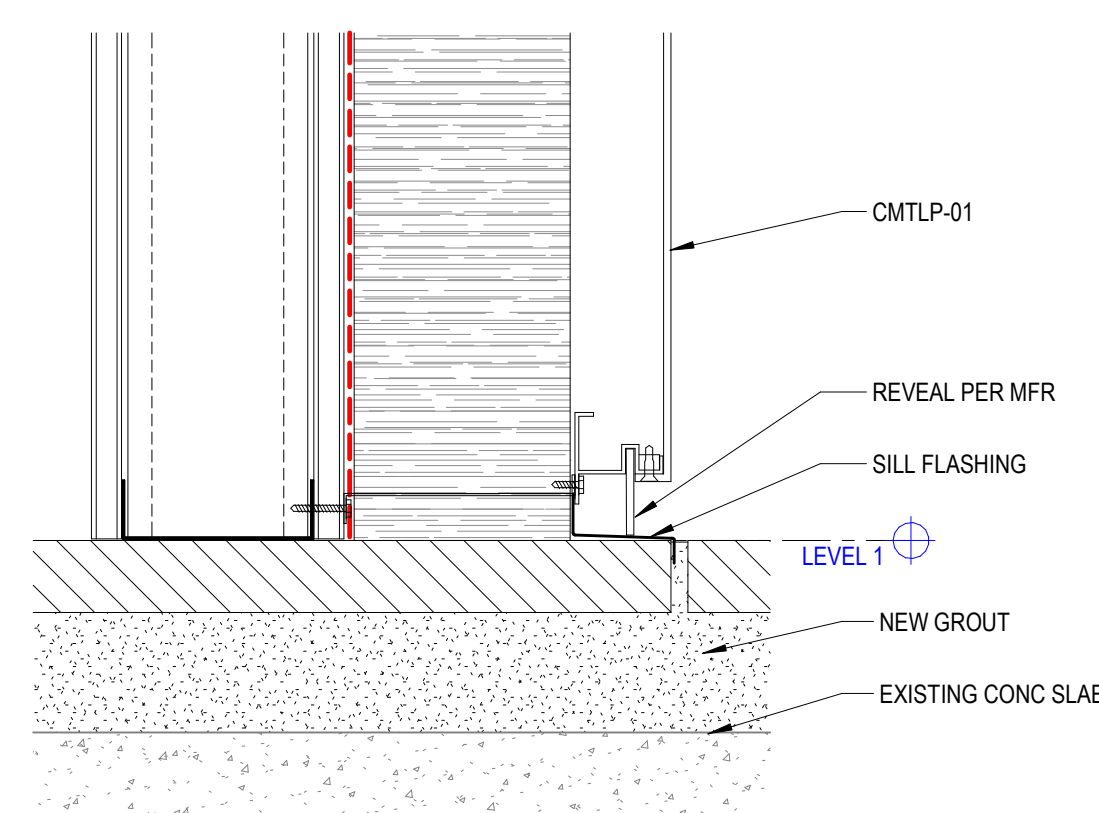
6 VESTIBULE WALL @ EXISTING VERTICAL MULLION
2 A501 3" = 1'-0"



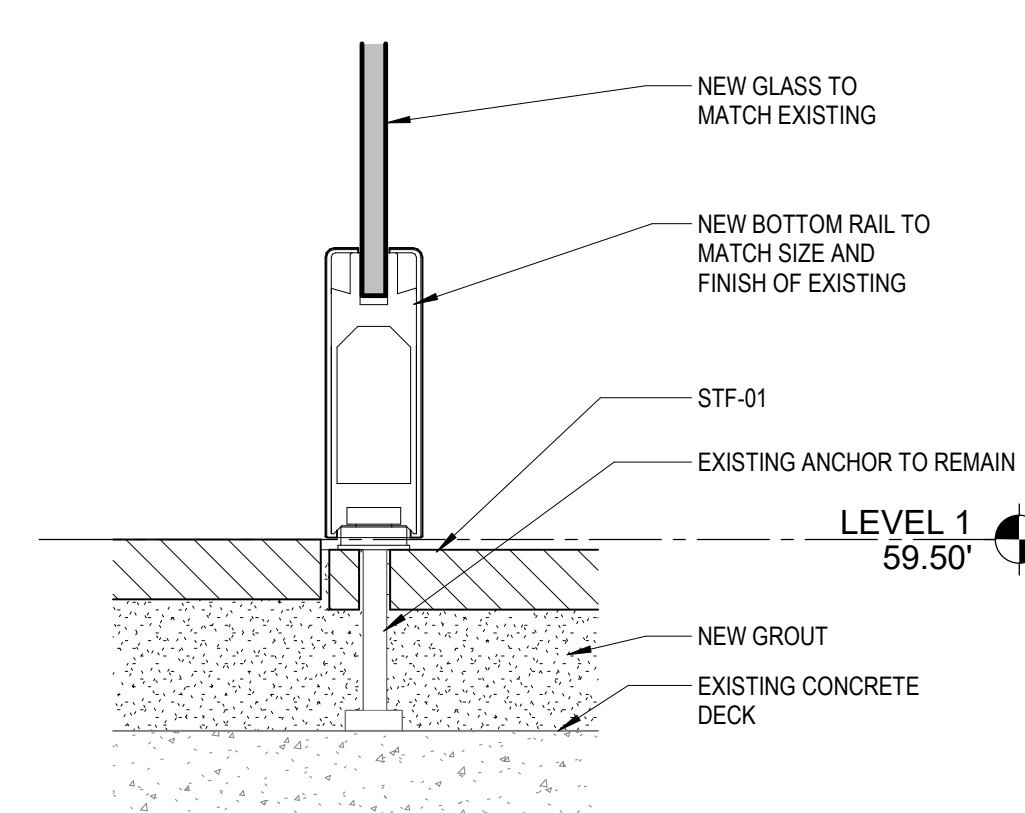
7 VESTIBULE ROOF @ EXISTING HORIZ MULLION
2 A501 3" = 1'-0"



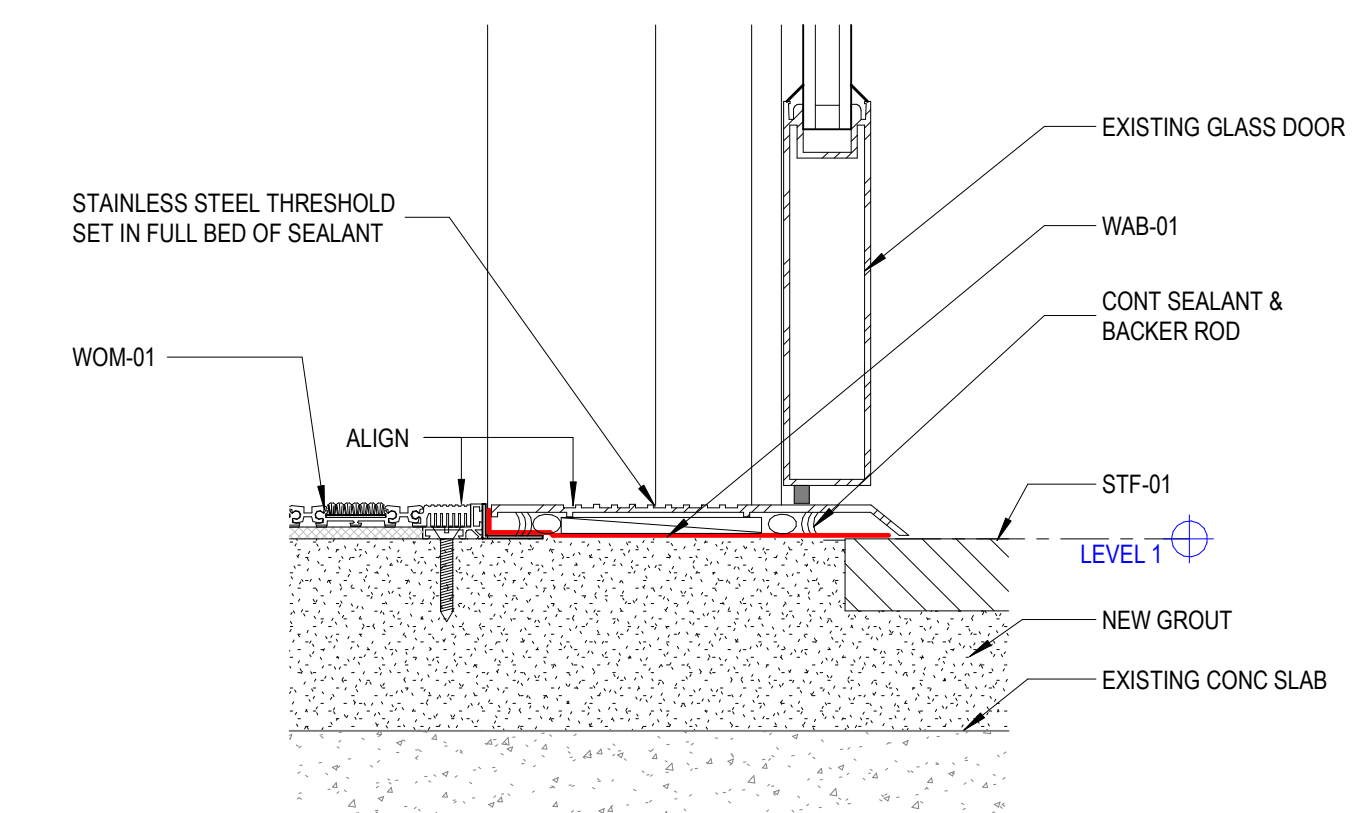
8 CMTLP ROOF CURB, TYP
2 A501 3" = 1'-0"



1 CMTLP SILL
2 A501 3" = 1'-0"



5 NEW SILL @ WINDOW WALL
2 A501 3" = 1'-0"
















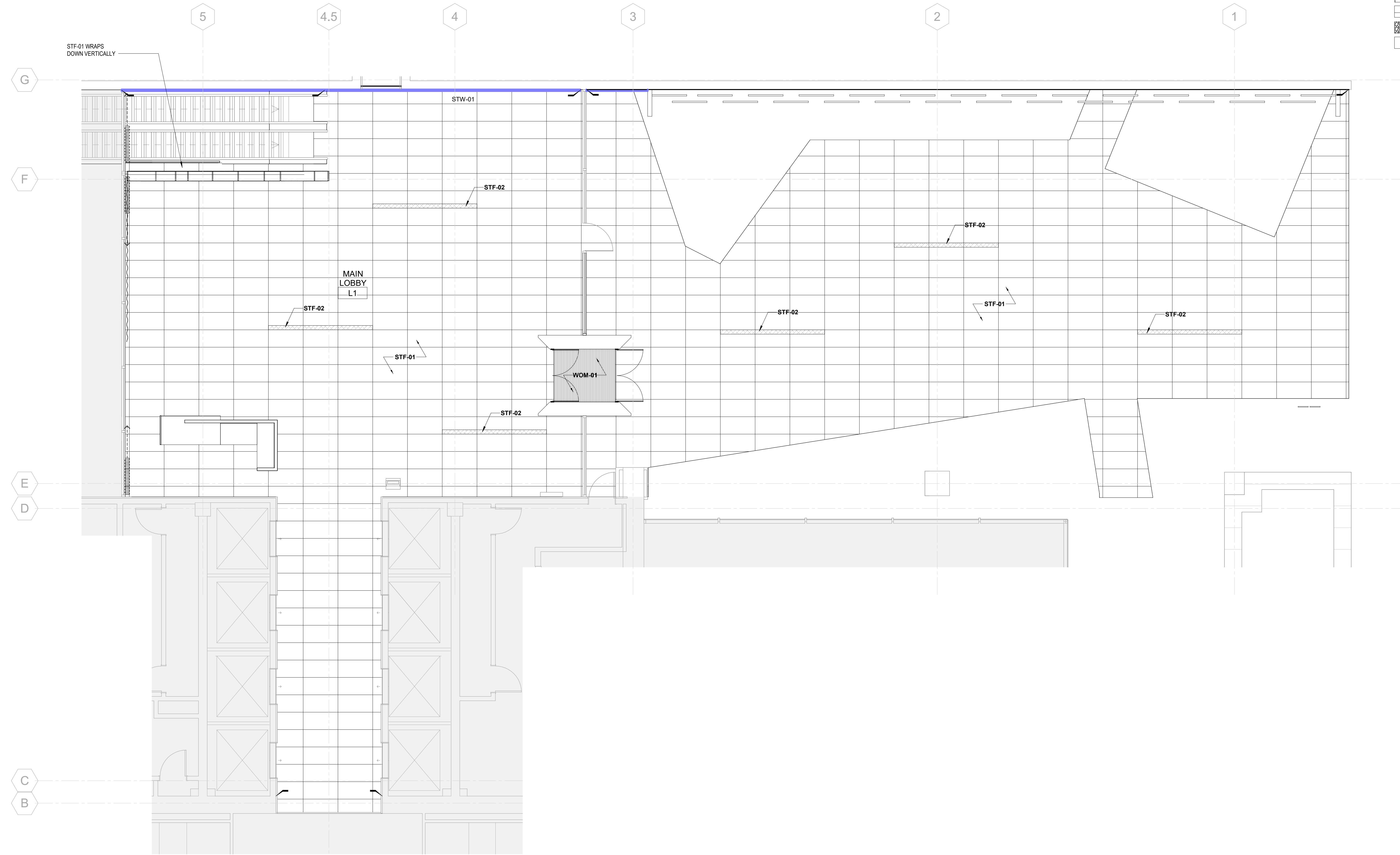
2 THRESHOLD @ VESTIBULE ENTRY, TYP
2 A501 3" = 1'-0"

FINISH PLAN NOTES

1. WALL FINISH IS PNT-1 UNO

FINISH PLAN NOTES

-  CPTT-01
-  CPTT-02
-  CPTT-03
-  CPTT-04
-  CPTT-05
-  CPTT-06
-  RSF-01
-  RSF-02
-  PTF-01
-  PTF-02
-  STF-01
-  STF-02
-  CONCRETE



1 LEVEL 1 FINISH PLAN
2.A803 3/16" = 1'-0"

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**NORTON BUILDING
MODERNIZATION**

801 Second Avenue
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**DESIGN
DEVELOPMENT**

Revisions	Date	Description
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LEVEL 1 FINISH PLAN

Sheet Number



2.A803

INDEX

- EG.0.01 Index & General Notes
- EG.0.02 Schedules
- EG.0.03 Signs Overview
- EG.0.04 Materials, Finishes & Color
- EG.0.05 Typography
- EG.1.06 Location Plan
- EG.2.01 M1: Exterior Monument
- EG.2.02 ID1: Primary Building ID
- EG.2.03 ID2, D1 & D2: First Avenue Signage Overview
- EG.2.04 ID2: Secondary Building ID
- EG.2.05 D1: Parking Directional Header
- EG.2.06 D2: Parking Directional Blade

GENERAL NOTES

The purpose of these drawings is to illustrate design intent and provide sufficient information for ROM pricing. Drawings are not for construction. Fabricator to provide itemized pricing for all sign types.

Fabricator to submit requested samples and mockups to the Project Owner and Studio Matthews prior to proceeding with fabrication. Finish samples as well as a minimum x1 mockup of each sign type are required. See page 0.02.

Prior to fabrication, Studio Matthews will issue a 100% Design Intent set that gives greater detail regarding design and specifications. After issuance, further development and engineering of drawings contained shall be submitted as shop drawings by the Fabricator to the Project Owner and Studio Matthews prior to proceeding with fabrication. Any variations to design, materials, or fabrication methods must be approved by the Owner or Representative. Fabricator to verify field dimensions and confirm locations of all obstructions.

Contractors shall verify and be responsible for all final quality, dimensions, materials, and conditions on the job. The quality of fit and finish on the final product must meet or exceed the requirements of these design intent documents.

Fabricator assumes responsibility for identifying and confirming all details within this scope of work are of sound structural design and comply with any structural and/or life safety requirements. Any requisite outside consultation with licensed engineer should be carried under Fabricator scope of work. Fabricator to coordinate any structural and/or electrical requirements/ locations/details with appropriate trades.

Written dimensions on these drawings have precedence over scaled dimensions. Studio Matthews shall not be responsible for scale discrepancies caused by reduced or enlarged drawings. Dimensions shown are approximate and for pricing purposes only. Final installation dimensions to be finalized via vendor submittal review process or artwork files provided by Studio Matthews.

Welds: All welds shall be ground smooth, paint all seams.

Hardware: All exposed hardware shall be tamper proof fasteners.

Application of anti-graffiti and UV protective coating required for all exterior signage.

FINAL ARTWORK

Messages shown in these drawings are for general reference only.

Colors shown are for reference only and are subject to the limitations of the printing process. Refer to the 100% Design Intent set for color system specifications.

Fabricator to confirm as-built conditions and complete shop drawings for all signs prior to final artwork submission by Studio Matthews.

All final artwork to be provided by Studio Matthews. Fabricator to provide graphic proofs of all artwork for Project Owner and Studio Matthew's approval prior to production.



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**Index & General
Notes**

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**NORTON BUILDING
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Date 09/07/2023

Sheet Title
Schedules

TITLE BLOCK

Sheet Number

EG.0.02

SIGN SCHEDULE

SIGN TYPE	DESCRIPTION	QTY	FINAL ARTWORK DELIVERABLE FROM SM
M1	Exterior Monument	x1	Final Art
ID1	Primary Building ID	x1	Final Art
ID2	Secondary Building ID	x1	Final Art
D1	Parking Directional Header	x1	Final Art
D2	Parking Directional Blade	x1	Final Art

SAMPLES SCHEDULE

Fabricator to provide Qty. 2 of all samples listed: x1 to Project Owner and x1 to Studio Matthews, unless otherwise noted in sample schedule.

ITEM	DESCRIPTION	QTY	SIZE	DETAILS
MTRL-1	Stainless Steel Sheet	x1	4"x4" min.	—
MTRL-2	Steel Sheet	x1	4"x4" min.	Powdercoated CLR-1
MTRL-4	Stainless Steel Tube	x1	4" min. length	—
MTRL-5	Light-Diffusing Acrylic, White	x1	4"x4" min.	—

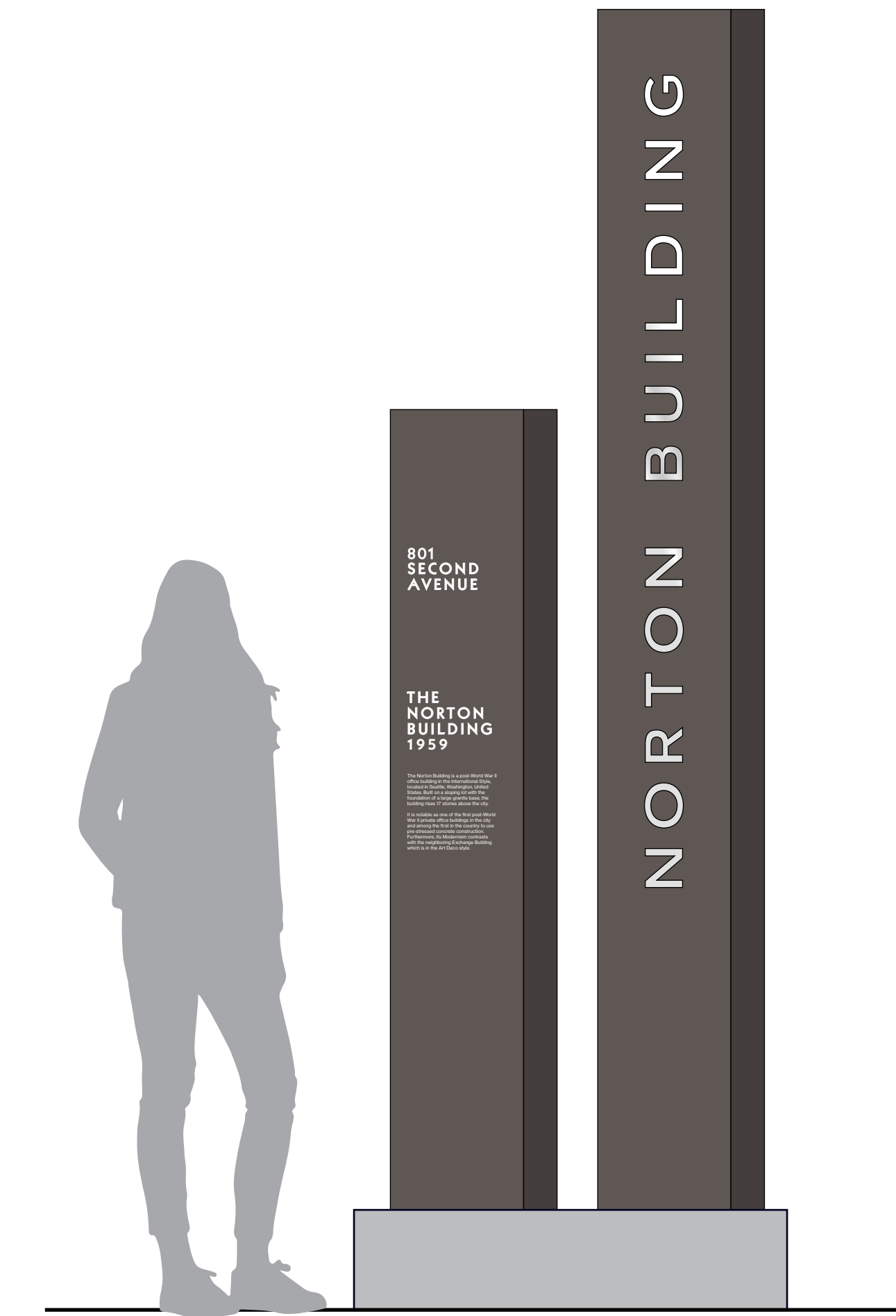
MOCKUPS SCHEDULE

Fabricator to provide at minimum Qty. 1 of all mockups listed to Studio Matthews, unless otherwise noted in mockup schedule. Mockups are required to match all colors and materials as specified for Project Owner approval.

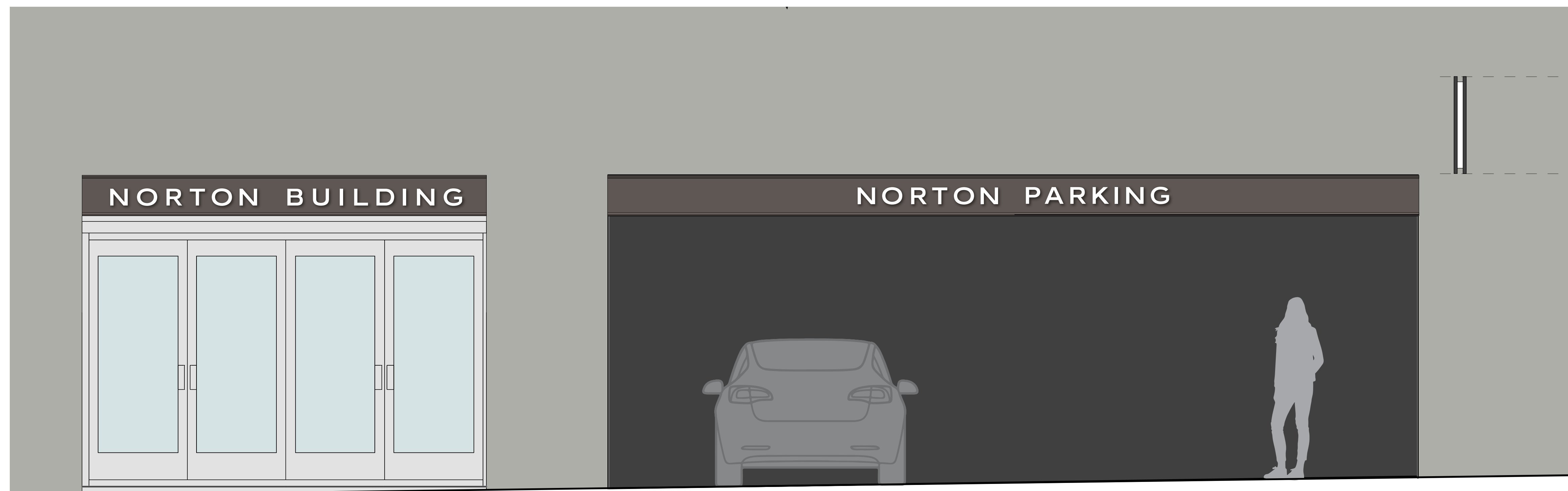
ITEM	DESCRIPTION	QTY	SIZE	DETAILS
M1	Exterior Monument	x1	15"x15" min.	Full-scale partial assembly including large MTRL-1 letter "R", small MTRL-3 lettering, and direct printed artwork
ID1	Primary Building ID	x1	9"x9" min.	Full-scale partial assembly including partial shroud replica. Mockup to serve as proof of concept for final installation. Coordinate closely with Architect and G.C.
ID2	Secondary Building ID	x1	15"x9" min.	Full-scale partial assembly
D2	Parking Directional Blade	x1	12"x12" min.	Full-scale partial assembly including rigid panel to serve as mounting substrate stand-in and functional illumination



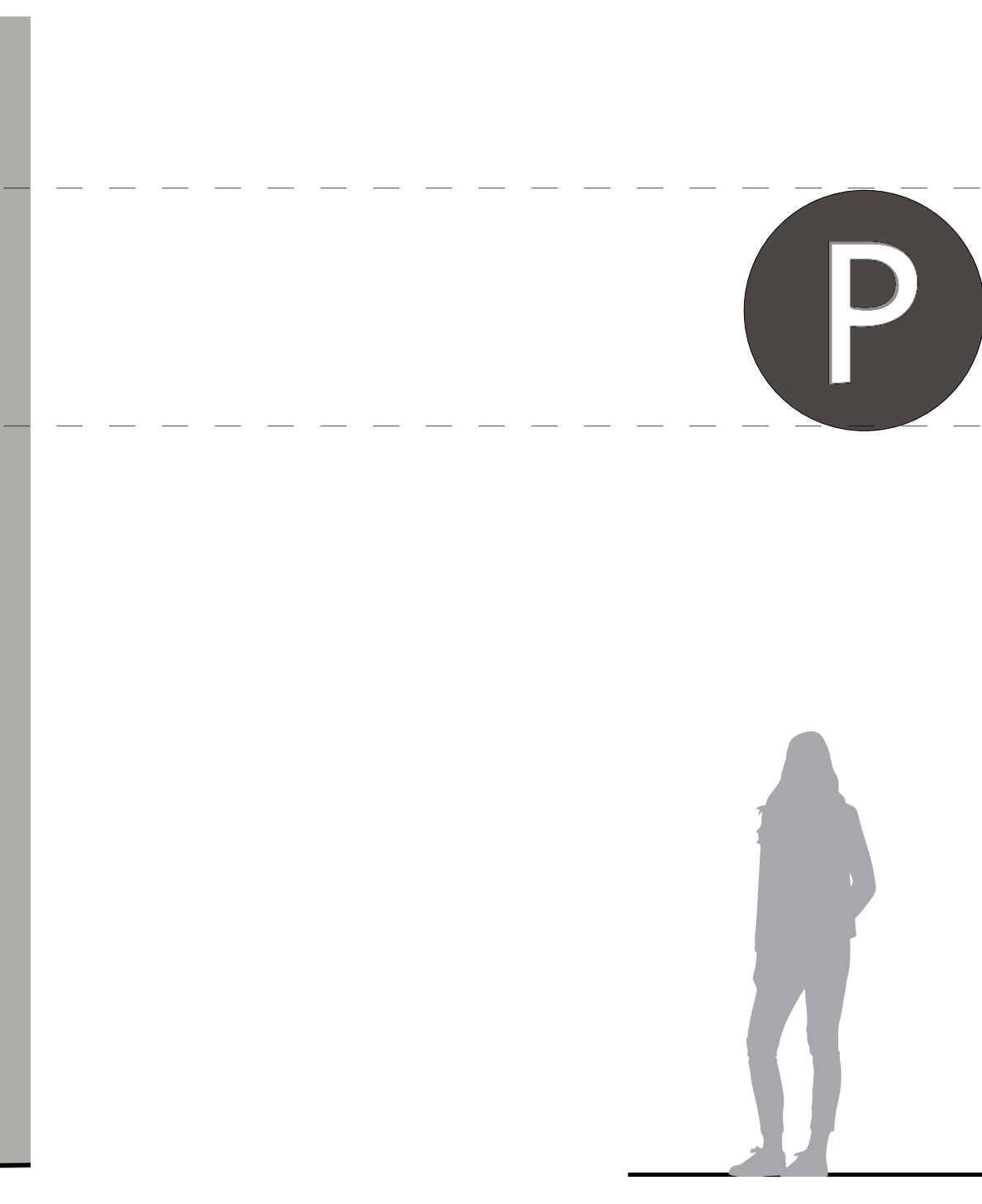
ID1—Primary Building ID



M1—Exterior Monument



ID2—Secondary Building ID & D1—Parking Directional Header



D2—Parking Directional Blade



**Studio
Mathews**

1517 12th Avenue, No 304
Seattle, WA 98122
206 432 9641
studiomathews.com

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**NORTON BUILDING
MODERNIZATION**

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DESIGN DEVELOPMENT

Revisions
Date Description

Sheet Owner Author
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Date 09/07/2023

Sheet Title
**Materials, Finishes
& Color**

TITLE BLOCK

Sheet Number

EG.0.04

MATERIALS



MTRL-1 Steel Sheet

Product Details	—
Finish	—
Notes	—



MTRL-2 Stainless Steel Sheet

Product Details	—
Finish	Brushed (vertical)
Notes	—



MTRL-3 Aluminum Sheet

Product Details	—
Finish	—
Notes	—



MTRL-4 Stainless Steel Tube

Product Details	—
Finish	Brushed
Notes	—



MTRL-5 Light-Diffusing Acrylic, White

Product Details	Greencast™ or product with similar sustainable qualities
Finish	Matte
Notes	—

COLOR



CLR-1 Blacked Bronze

Product Details	—
Finish	To match new vestibule entry shroud
Notes	Coordinate with G.C. to acquire control sample



CLR-2 White

Product Details	—
Finish	—
Notes	CMYK 0, 0, 0, 0

KABEL LT STD HEAVY

ABCDEFGHIJKLMNOPQRSTUVWXYZ

abcdefghijklmnopqrstuvwxyz

1234567890 / * () _ - — “ ’

NEUE HAAS EE TEXT PRO 55 ROMAN

ABCDEFGHIJKLMNOPQRSTUVWXYZ

abcdefghijklmnopqrstuvwxyz

1234567890 / * () _ - — “ ’



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Typography

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Sheet Number

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**NORTON BUILDING
MODERNIZATION**

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DESIGN DEVELOPMENT

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Location Plan

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Sheet Number

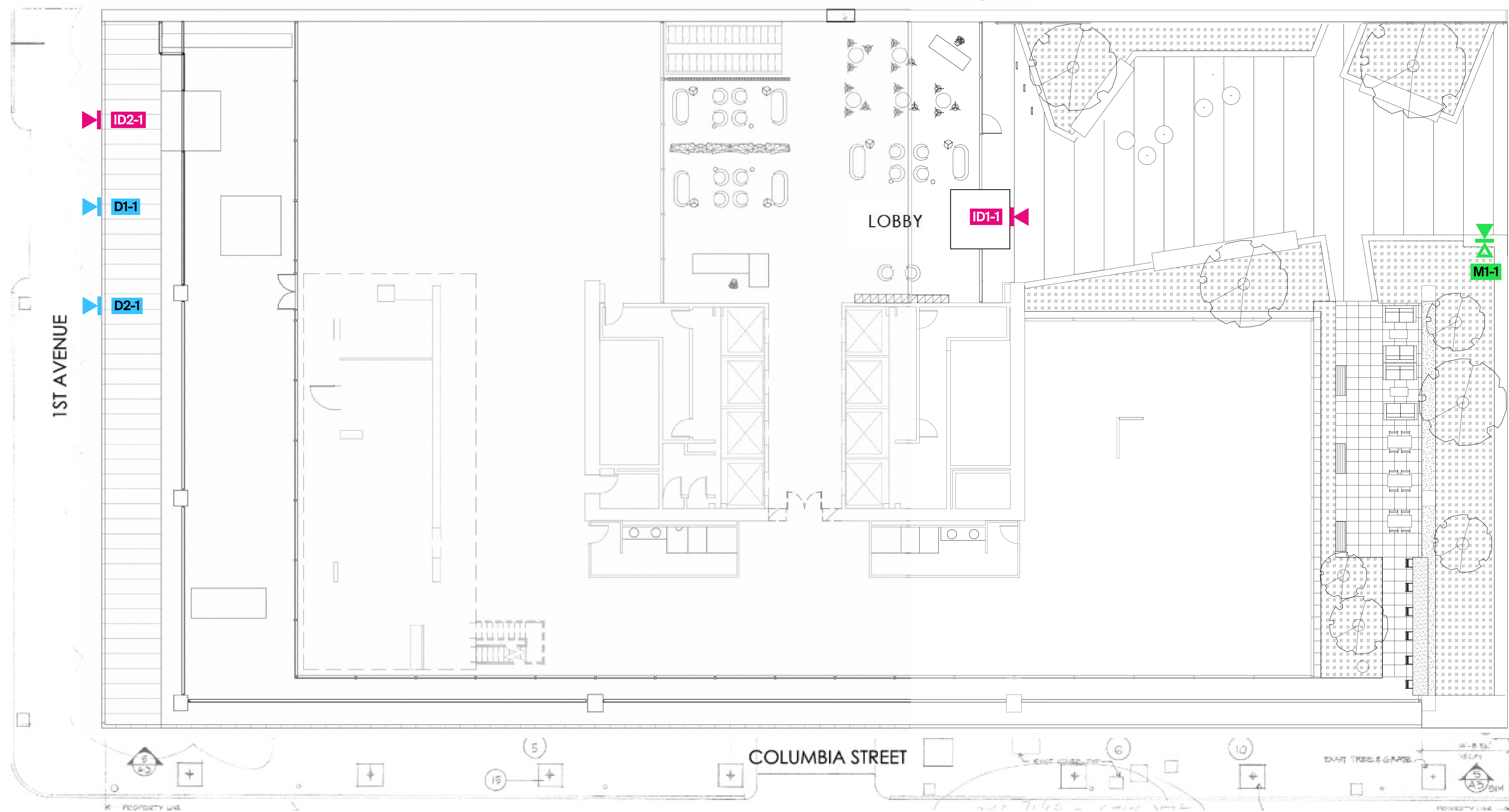
EG.1.06

SIGN CODE KEY

Type — X-1 — Number

SIGN TYPES

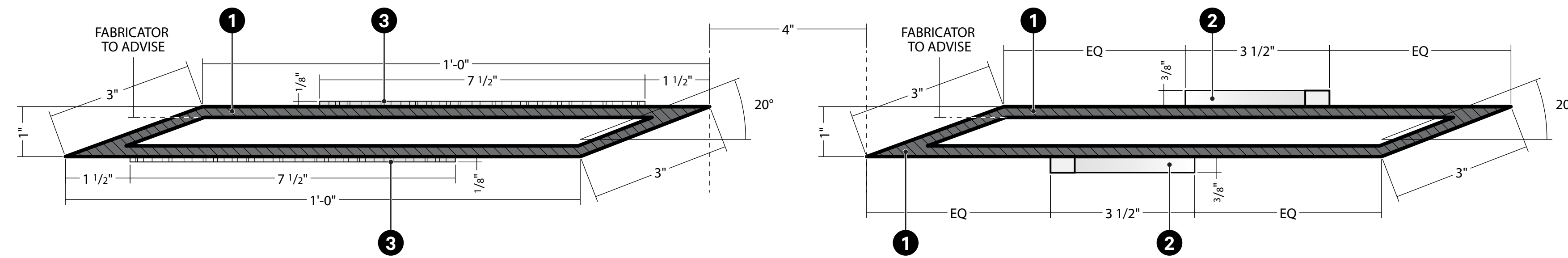
- M1 Exterior Monument
- ID1 Primary Building ID
- ID2 Primary Building ID
- D1 Parking Directional Header
- D2 Parking Directional Blade



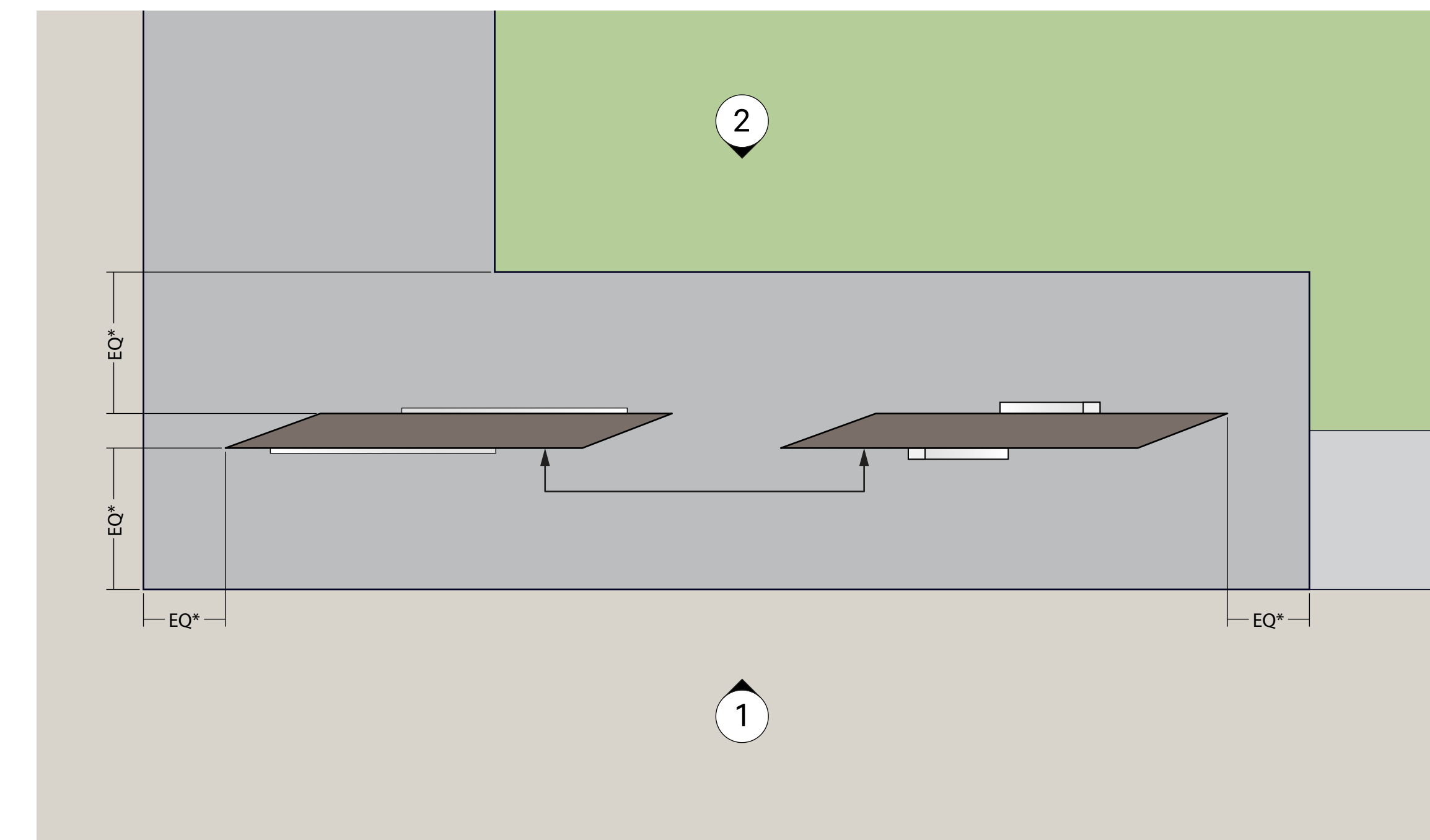
FABRICATION NOTES

- 1 MTRL-1 closed hollow forms with all corners and edges eased for safety, powdercoated CLR-1 on all sides, mounted flush to new plinth (by others).^{*} All hardware to be concealed.
- 2 MTRL-2 letterforms, mounted flush to faces of 1 form, using both concealed hardware and adhesive to prevent vandalism/removal.^{*}
- 3 MTRL-3 letterforms, painted to match CLR-2, mounted flush to faces of 1 form.^{*}
- 4 CLR-2 direct printed on faces of 1 form.

^{*}Coordinate with G.C. Exact mounting Details TBD in shop drawing process.

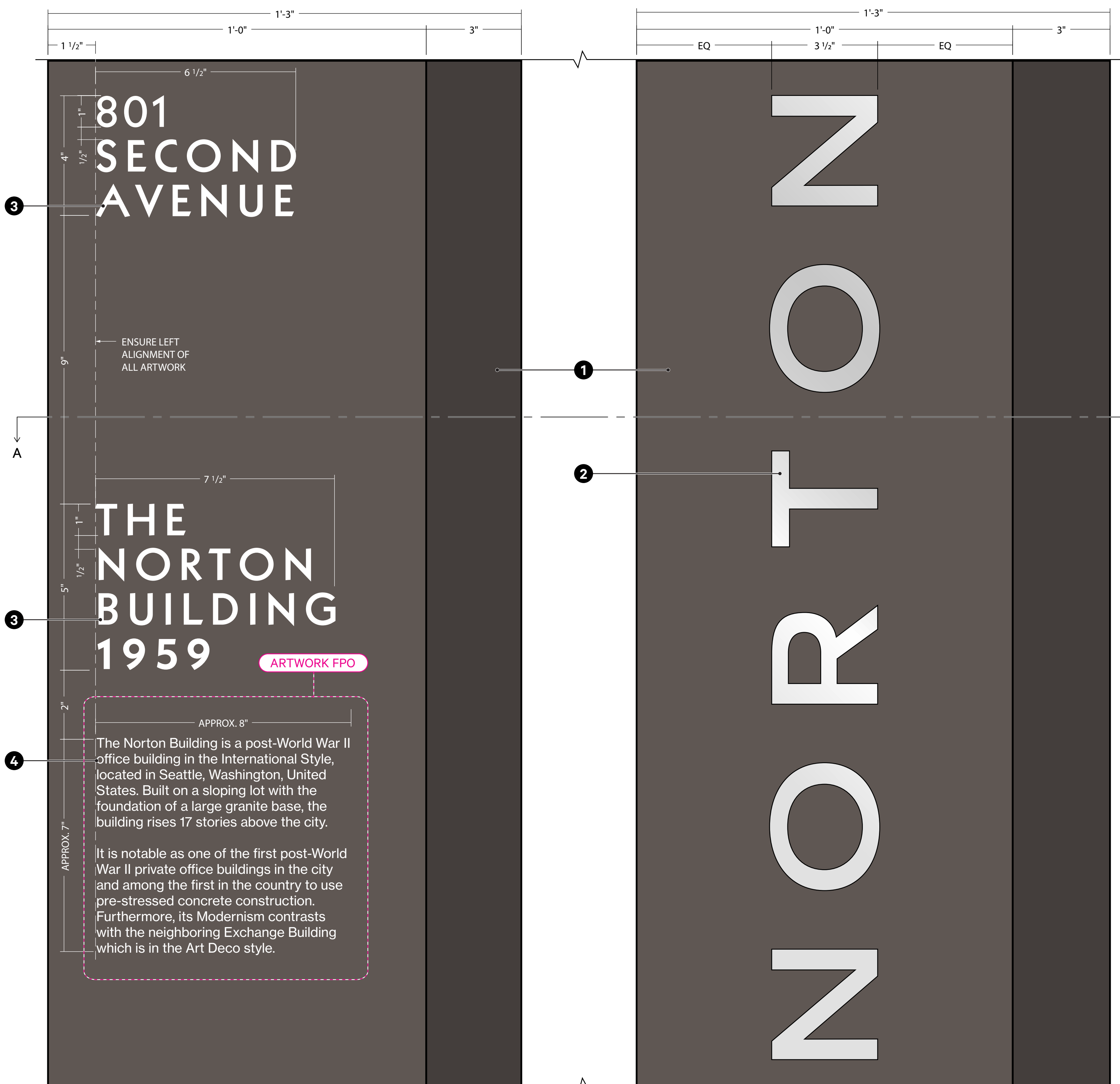


5 M1: Exterior Monument—Section A
Scale: 6" = 1'-0"

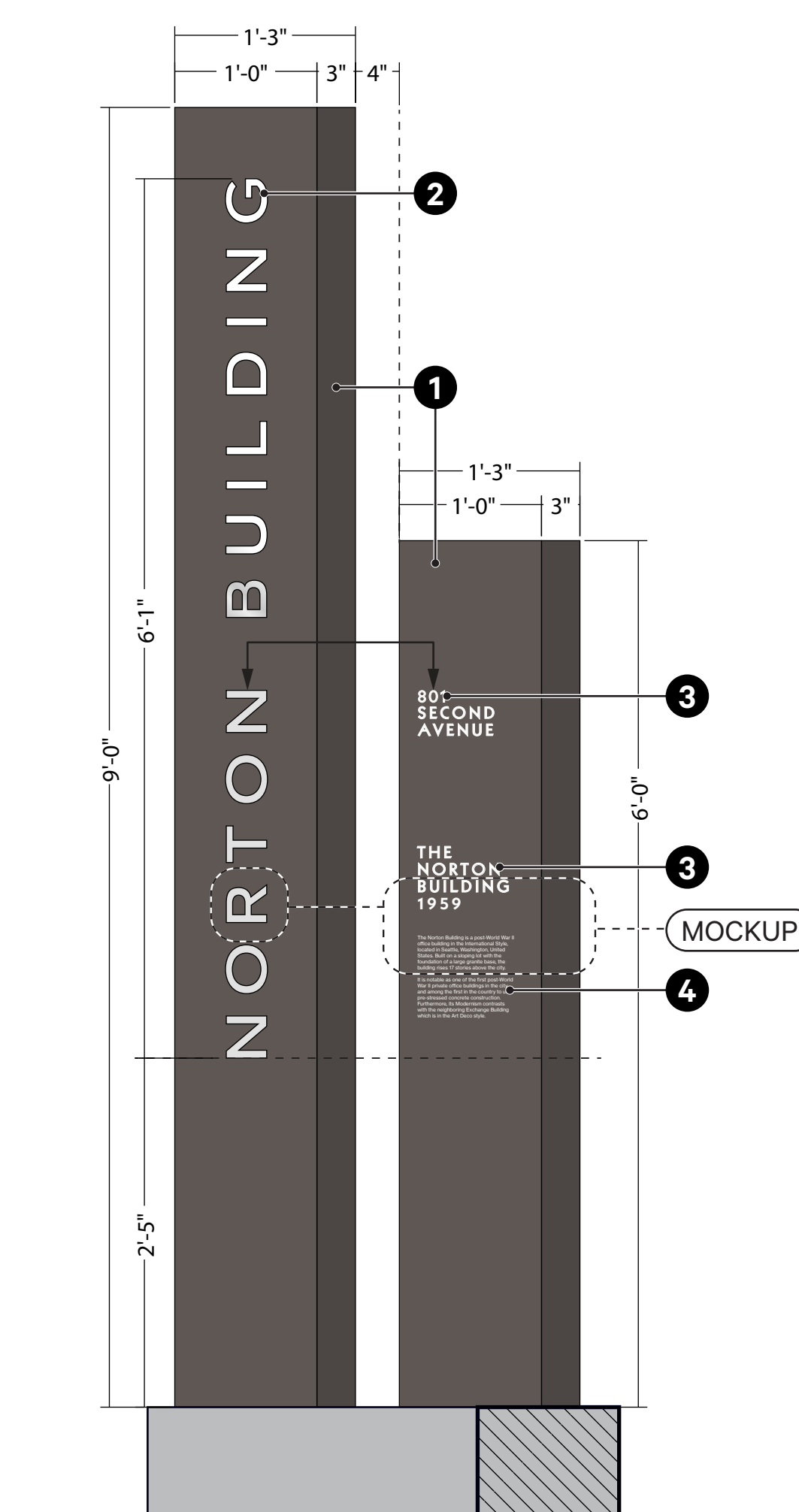


^{*}Reference Landscape Architect set for exact sign positioning. Coordinate with G.C. as needed.

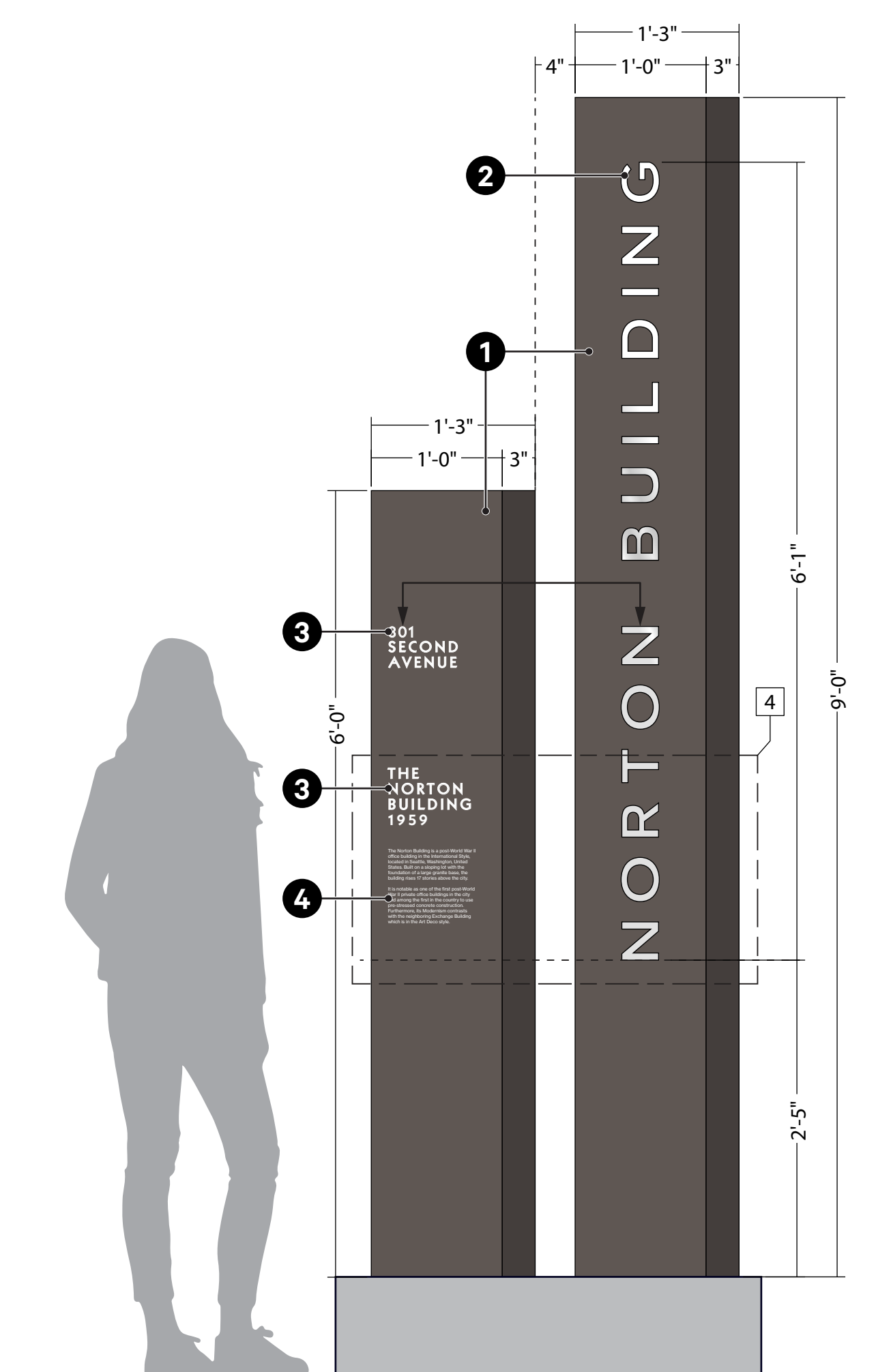
3 M1: Exterior Monument—Plan
Scale: 3" = 1'-0"



4 M1: Exterior Monument—Elevation (Plan Northeast) Detail
Scale: 6" = 1'-0"



2 M1: Exterior Monument—South Elevation
Scale: 1" = 1'-0"

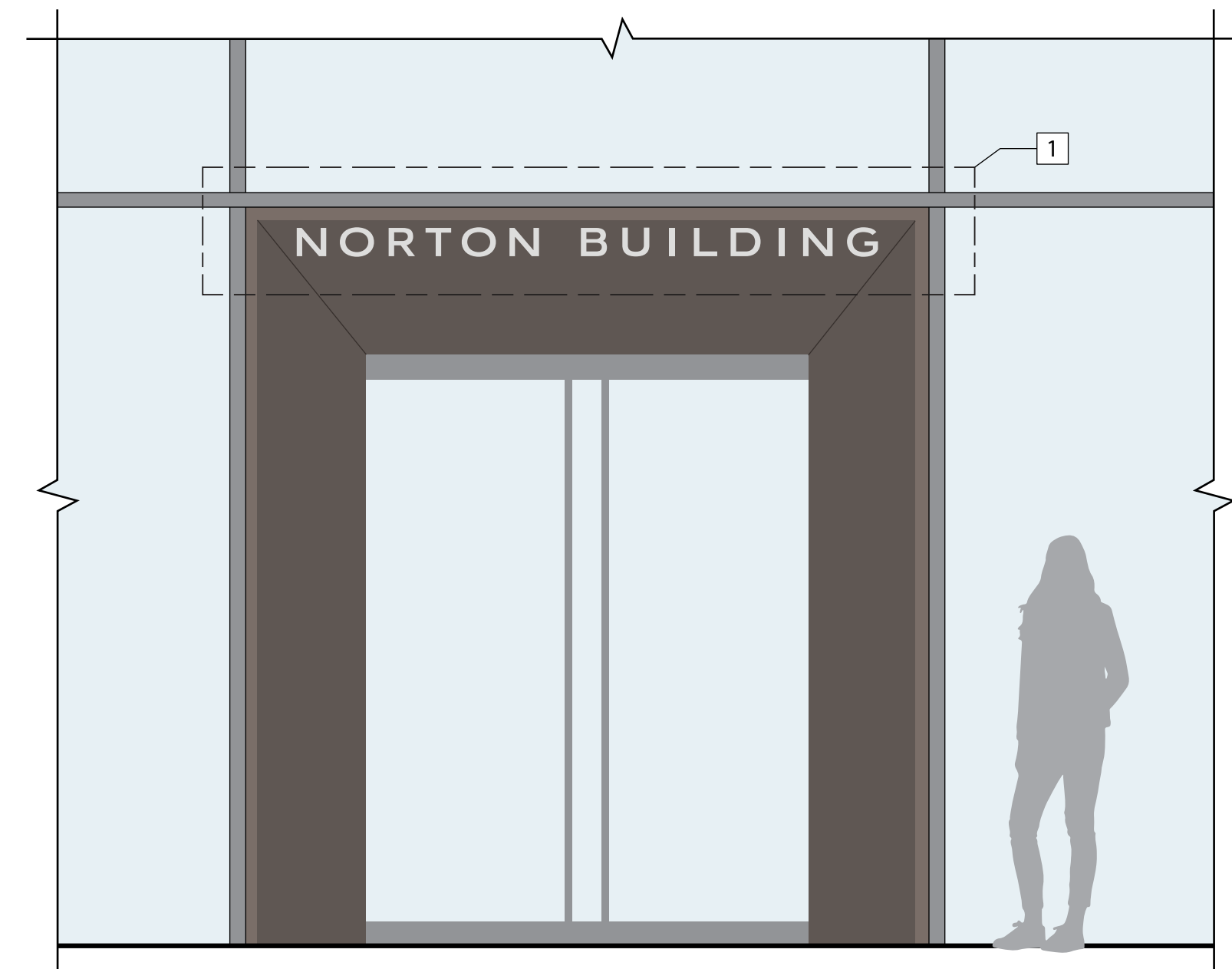


1 M1: Exterior Monument—North Elevation
Scale: 1" = 1'-0"

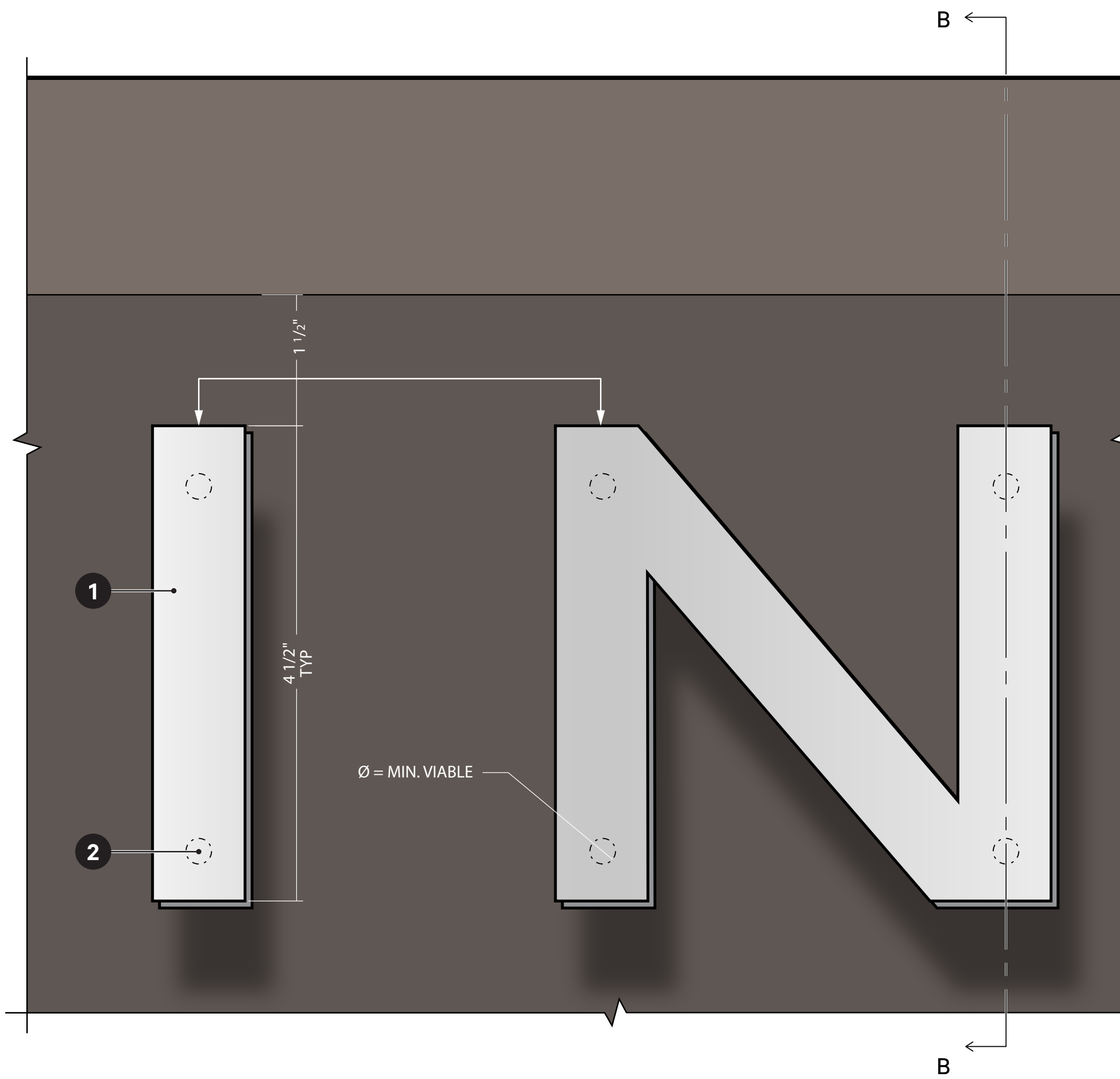
FABRICATION NOTES

- 1 MTRL-2 letterforms mounted to new vestibule shroud with 2 standoffs.* Shroud by others.
- 2 Standoffs tied directly into new vestibule shroud, painted CLR-1.*

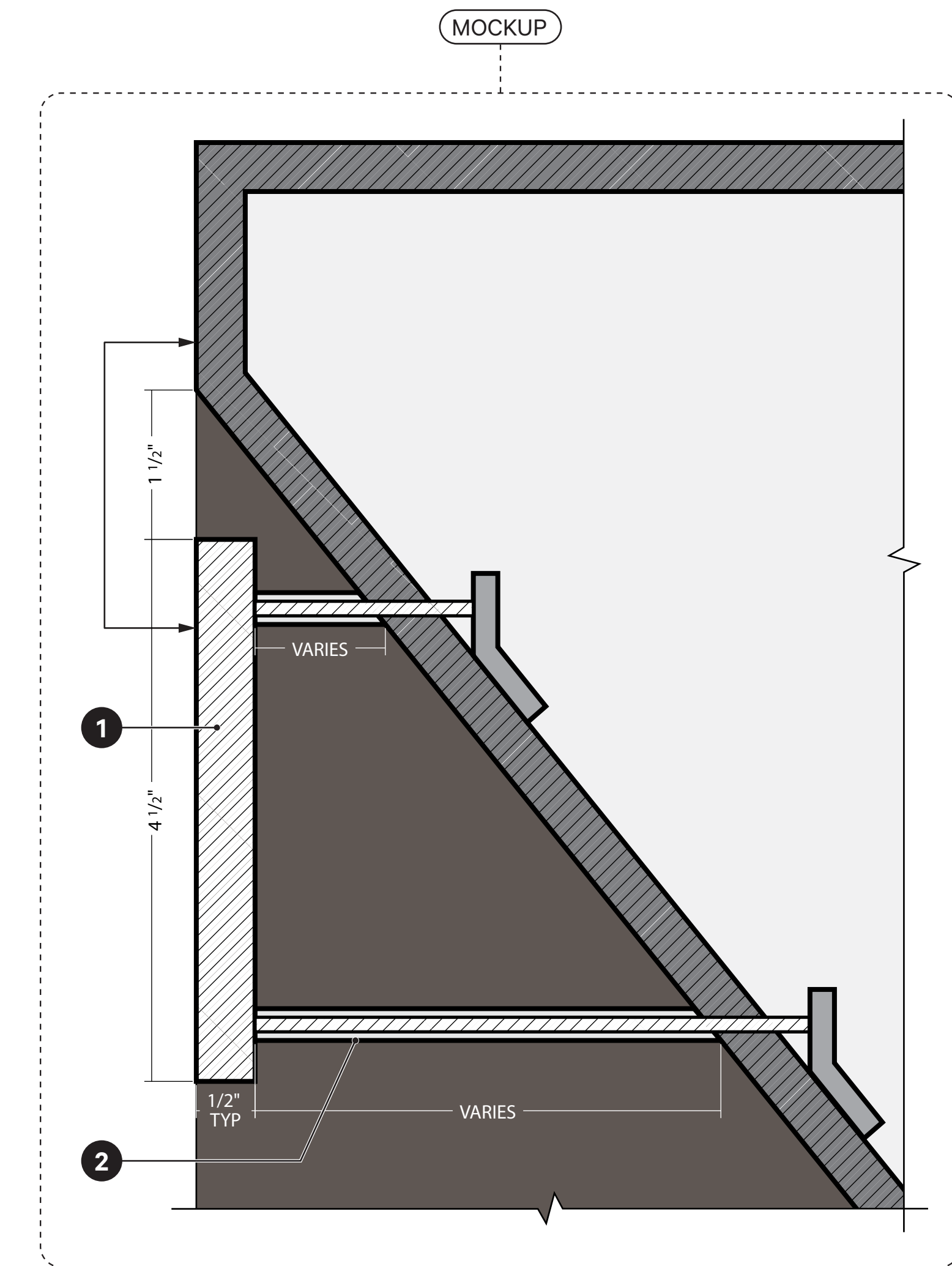
*Coordinate with Architect and G.C. Exact mounting Details TBD in shop drawing process.



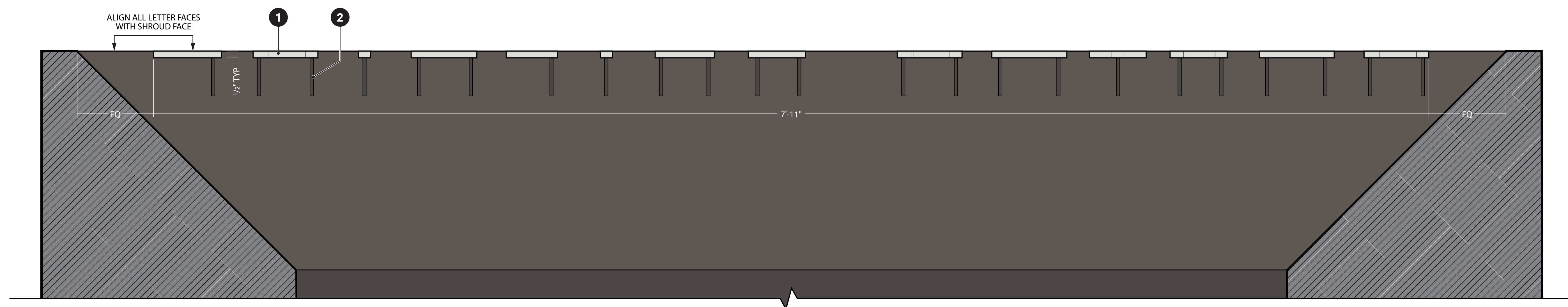
5 ID1: Primary Building ID—Context Elevation
Scale: 1/8" = 1'-0"



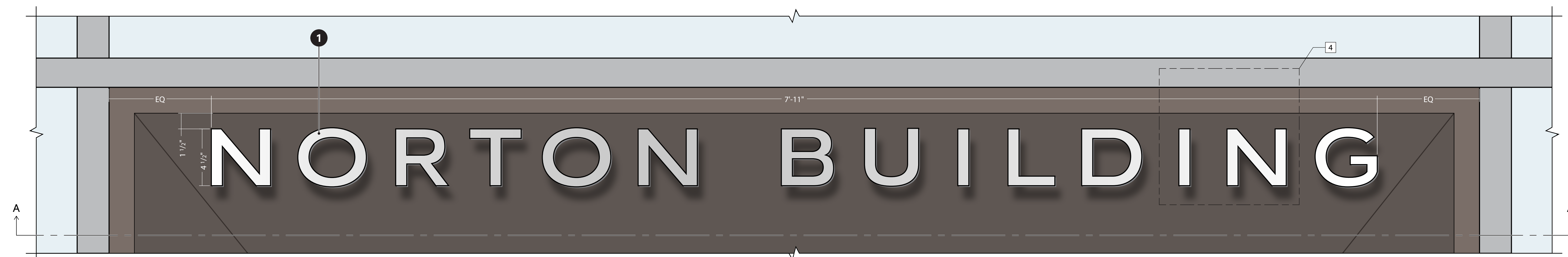
4 ID1: Primary Building ID—Elevation Detail
Scale: 1" = 1'



3 ID1: Primary Building ID—Section B
Scale: 1" = 1'



2 ID1: Primary Building ID—Section A
Scale: 3" = 1'-0"



1 ID1: Primary Building ID—Elevation
Scale: 3" = 1'-0"

**NORTON BUILDING
MODERNIZATION**

801 Second Avenue
Seattle, WA 98104

Submission

DESIGN DEVELOPMENT

Revisions
Date Description

Sheet Owner Author
LMN Proj No 22004-01
Date 09/07/2023

Sheet Title
ID2, D1 & D2: First
Avenue Signage
Overview

TITLE BLOCK

Sheet Number

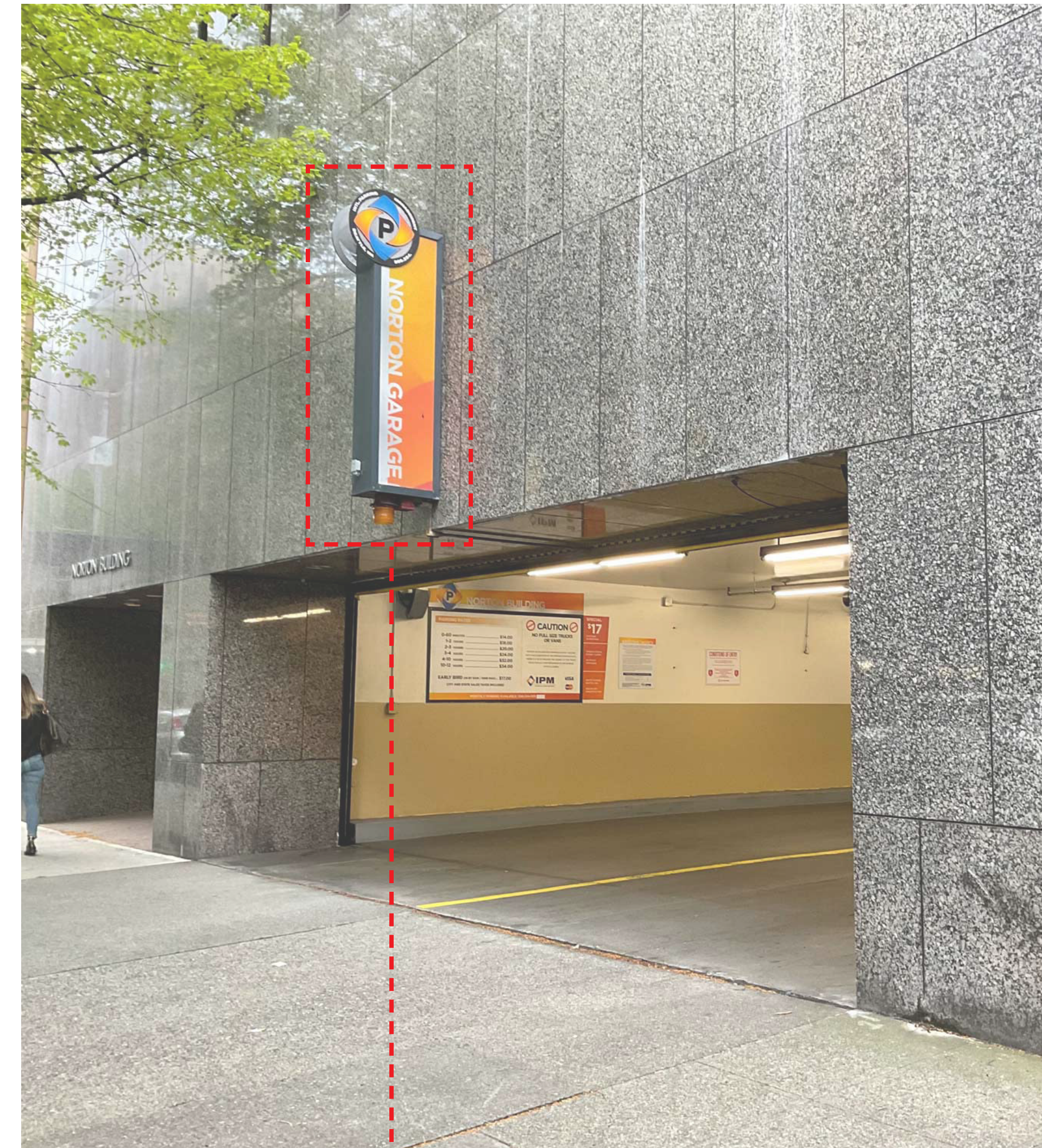
FABRICATION NOTES

See respective pages for details.

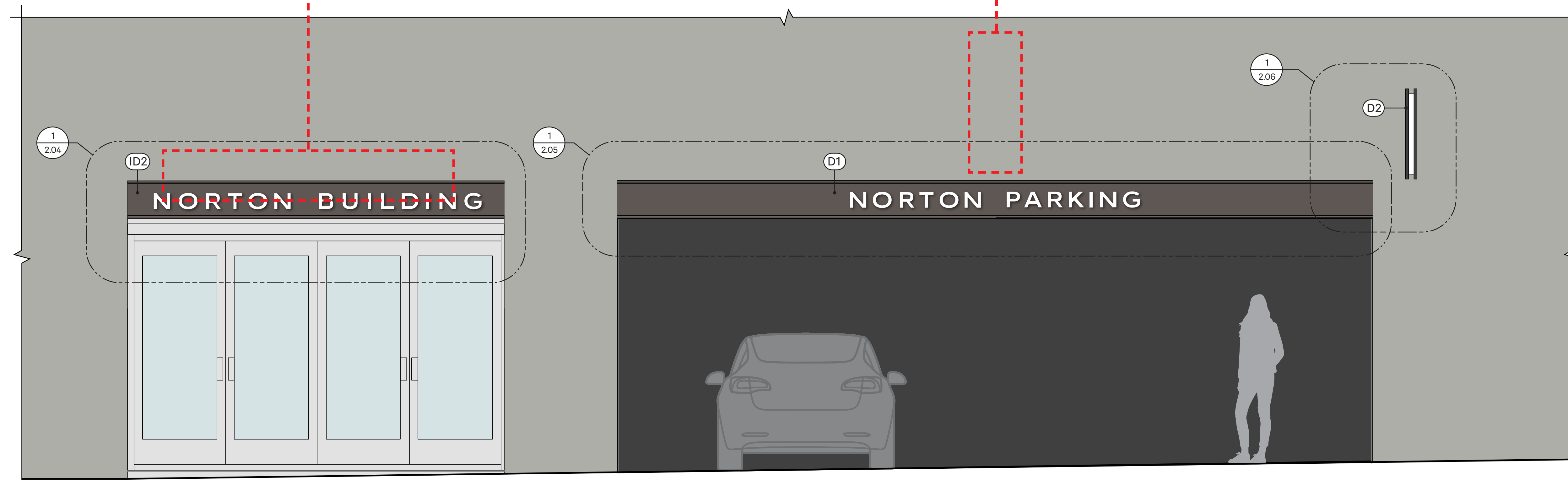
**Fabricator responsible for removal of existing
signage. Coordinate with G.C.**



Existing signage at ID2 location



Existing signage above D1 location

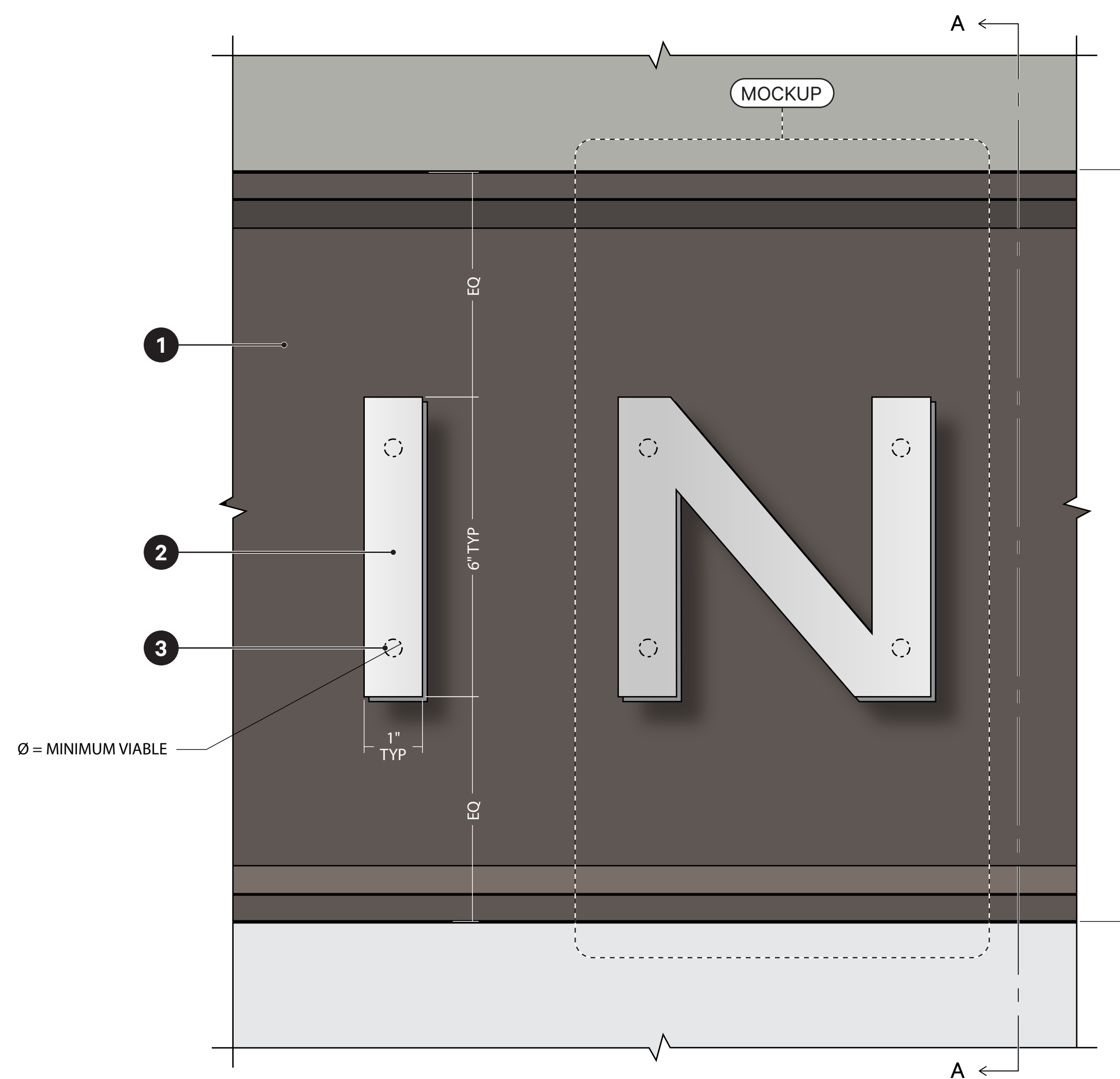


1 ID2, D1 & D2: First Avenue Signage Overview—Elevation
Scale: 1/2" = 1'-0"

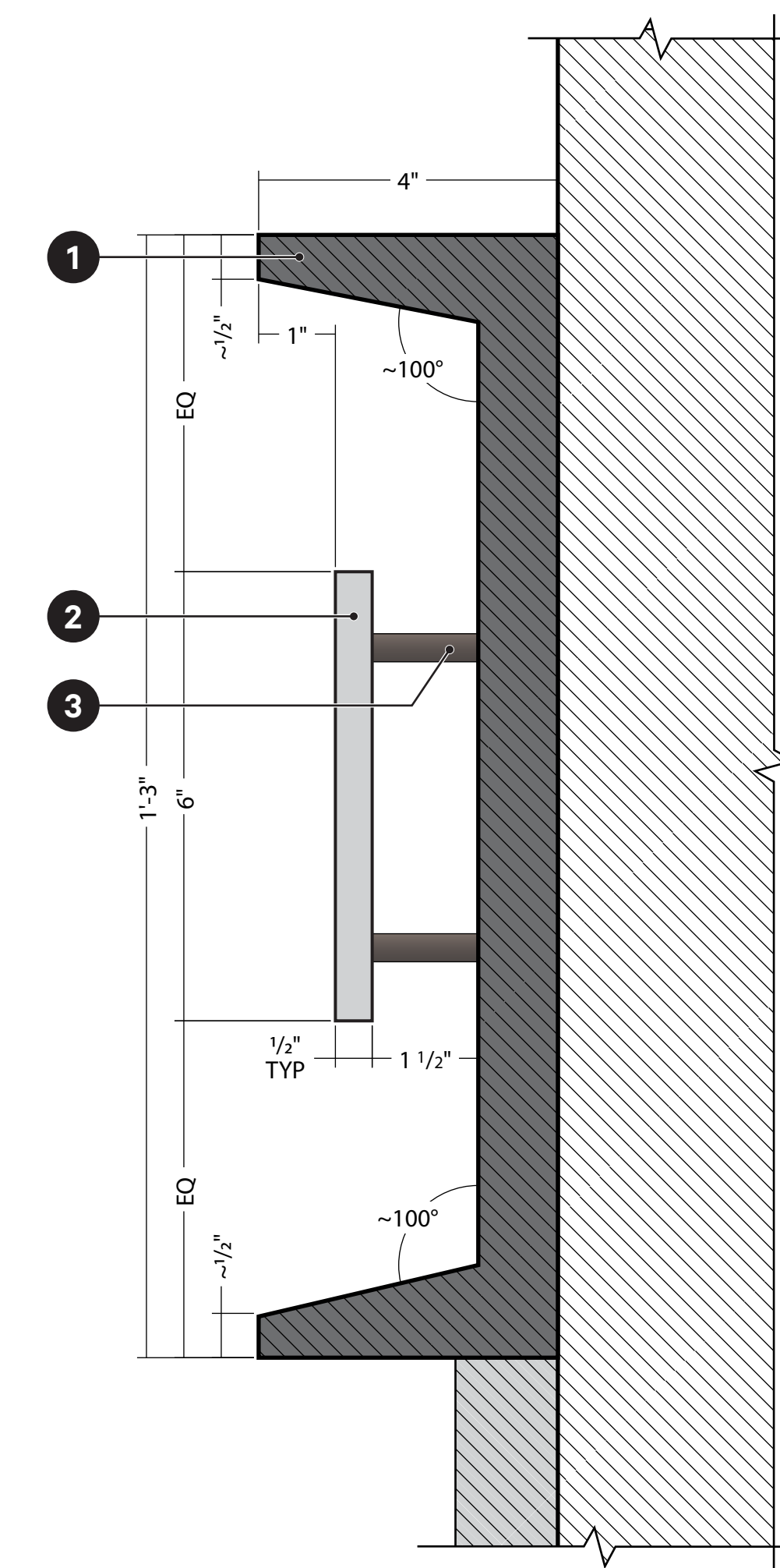
FABRICATION NOTES

- 1 Steel C-channel, mounted flush to building exterior,* painted CLR-1 on all visible sides. All hardware to be concealed or painted CLR-1.
- 2 MTRL-2 letterforms mounted to 1 channel with 3 standoffs.*
- 3 Standoffs tied directly into 1 channel, painted CLR-1.*

*Coordinate with Architect and G.C. Exact mounting Details TBD in shop drawing process.



3 ID2: Secondary Building ID—Elevation Detail
Scale: 6" = 1'-0"



2 ID2: Secondary Building ID—Section A
Scale: 6" = 1'-0"



1 ID2: Secondary Building ID—Elevation
Scale: 1" = 1'-0"

Revisions	Date	Description

Sheet Owner	Author
LMN Proj No	22004-01
Date	09/07/2023

Sheet Title
**D1: Parking
Directional Header**

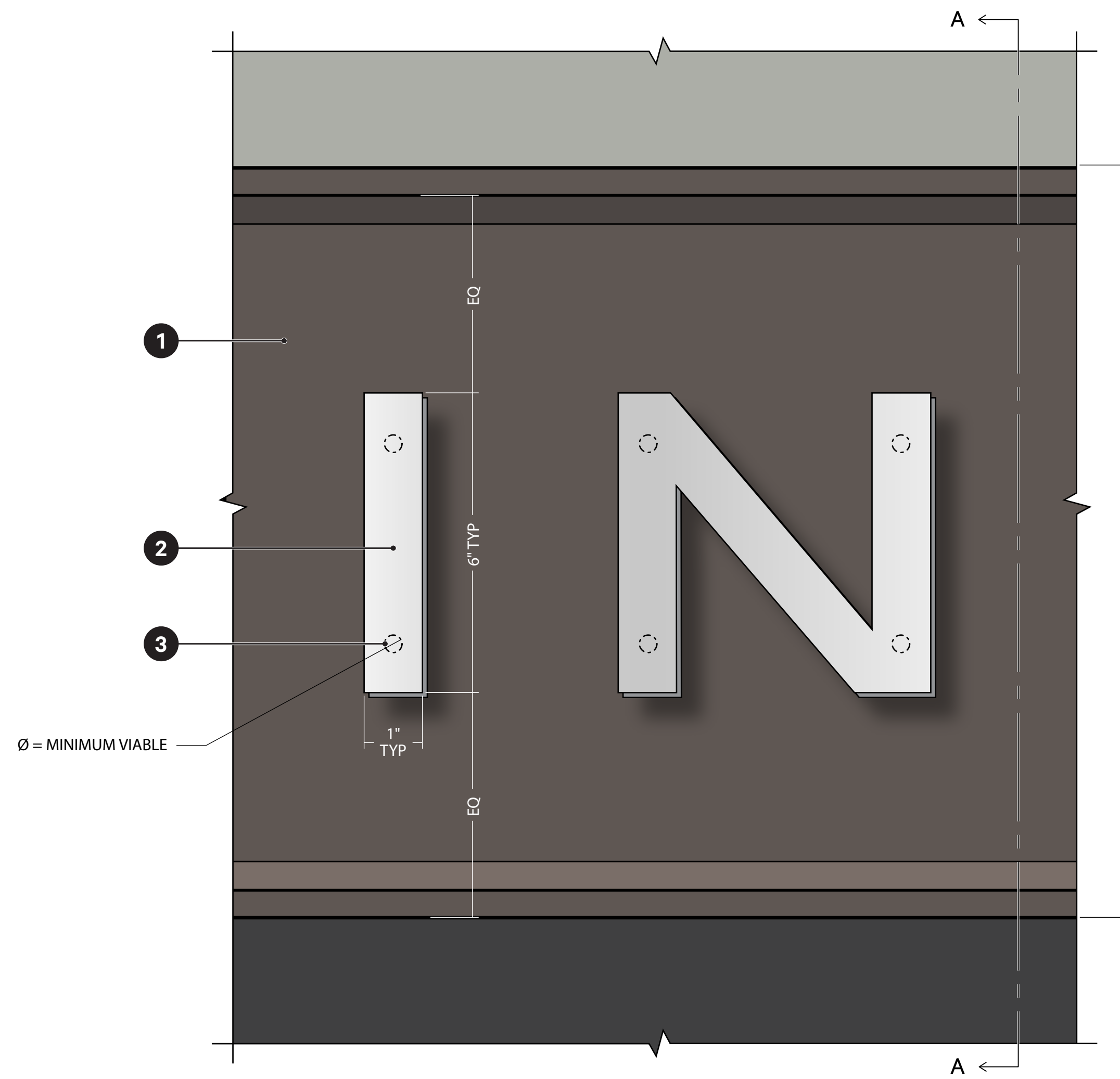
TITLE BLOCK

Sheet Number

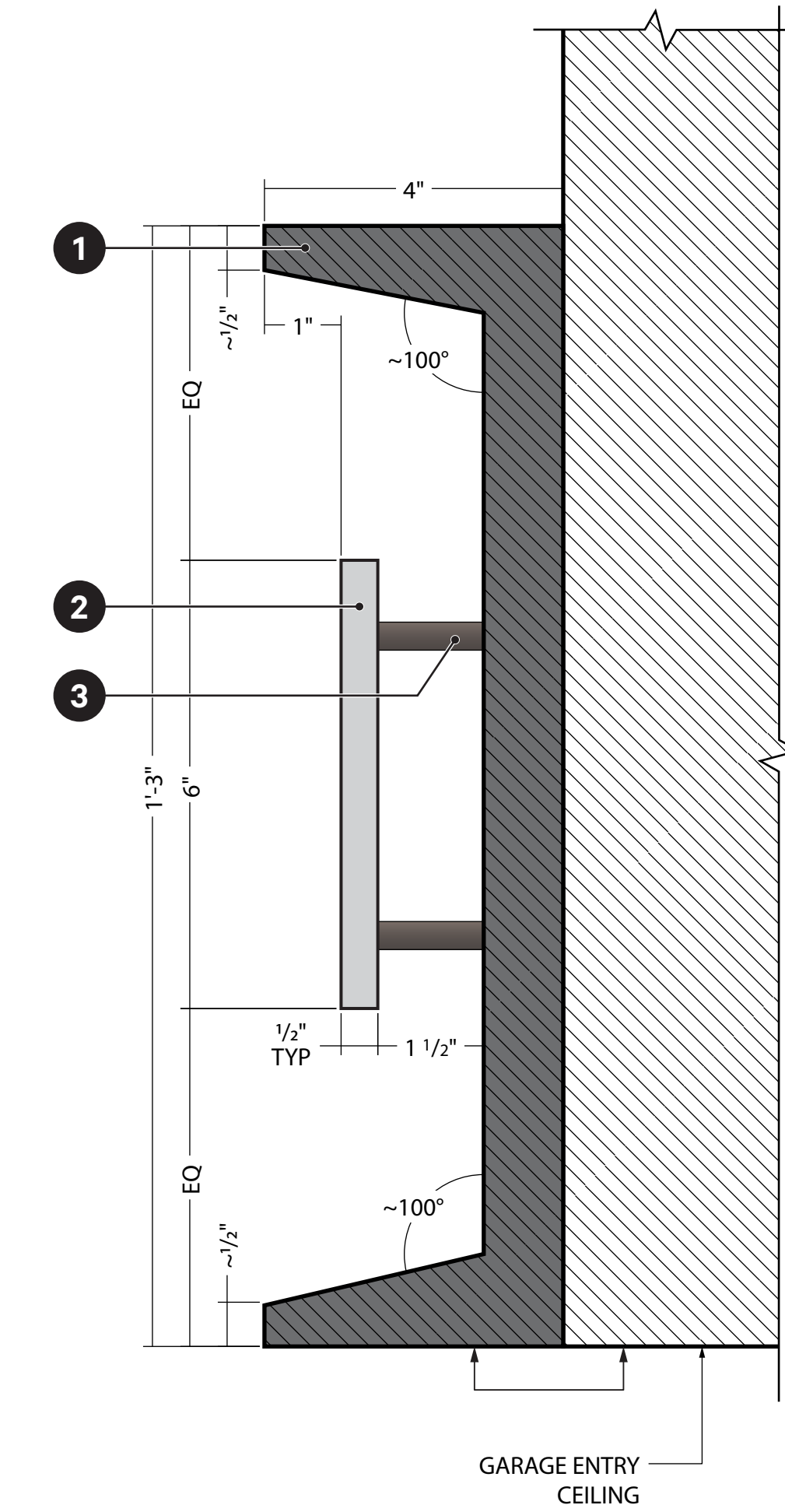
FABRICATION NOTES

- 1 MTRL-3 channel, mounted flush to building exterior,* painted CLR-1 on all visible sides. All hardware to be concealed or painted CLR-1.
- 2 MTRL-2 letterforms mounted to 1 channel with 3 standoffs.*
- 3 Standoffs tied directly into 1 channel, painted CLR-1.*

*Coordinate with Architect and G.C. Exact mounting Details TBD in shop drawing process.



3 D1: Parking Directional Header—Elevation Detail
Scale: 6" = 1'-0"



2 D1: Parking Directional Header—Section A
Scale: 6" = 1'-0"



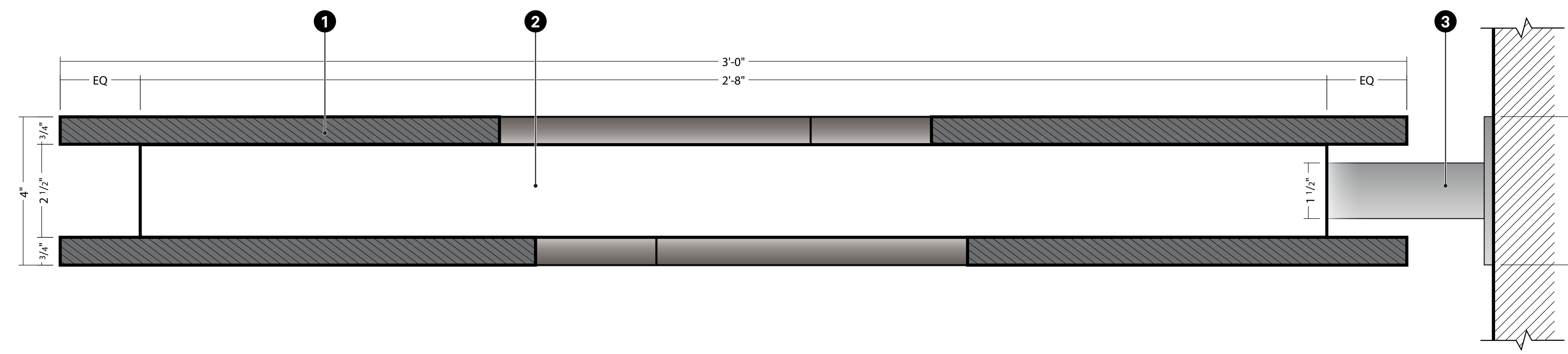
1 D1: Parking Directional Header—Elevation
Scale: 1" = 1'-0"

FABRICATION NOTES

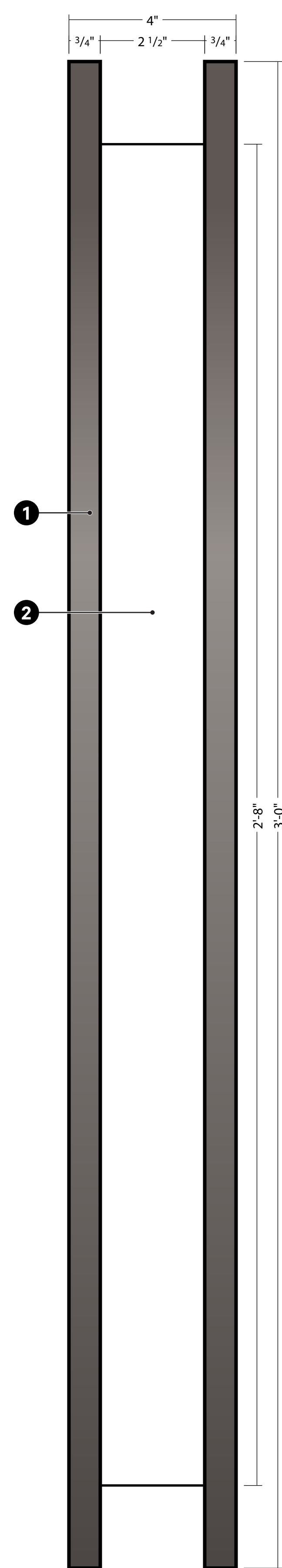
- 1 MTRL-3 routed discs, powdercoated CLR-1, adhered flush to 2 core.
- 2 MTRL-5 internally illuminated core mounted to building exterior with 3 posts.*
- 3 MTRL-4 posts mounted directly to building exterior,*

*Coordinate power with G.C.

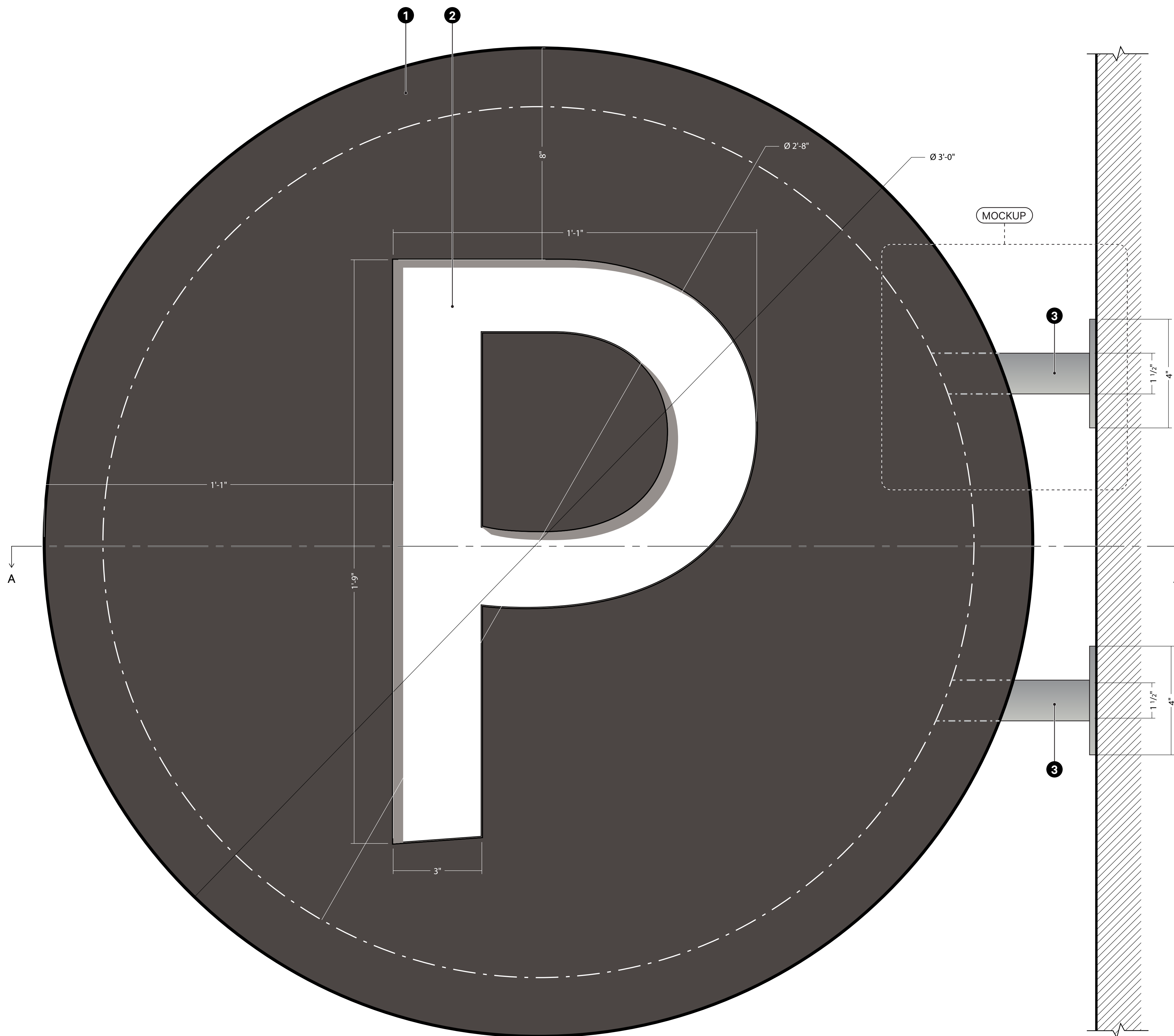
*Coordinate with Architect and G.C. Exact mounting Details TBD in shop drawing process.



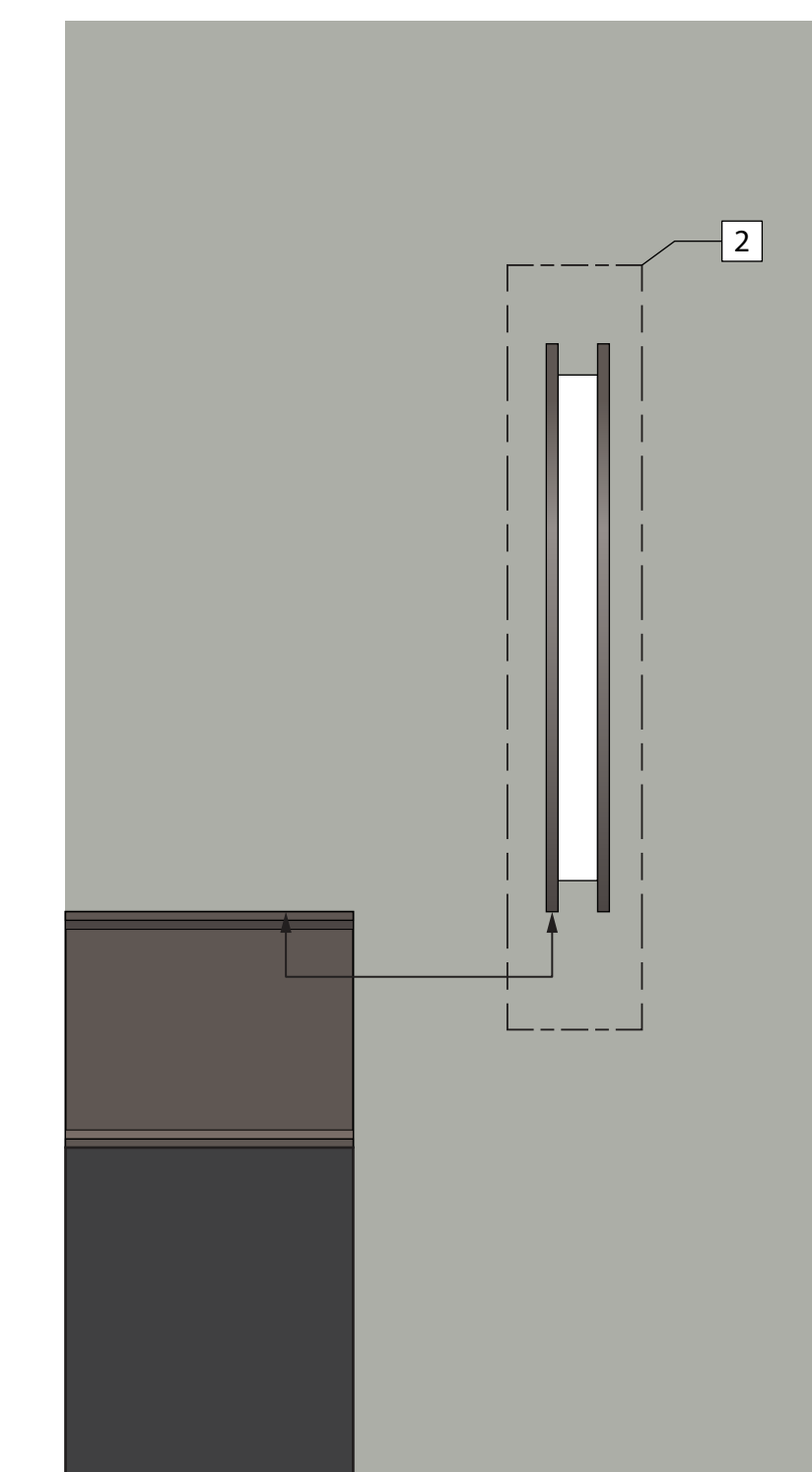
3 D2: Parking Directional Blade—Section A
Scale: 6" = 1'-0"



4 D2: Parking Directional Blade—Profile View
Scale: 6" = 1'-0"



2 D2: Parking Directional Blade—Front View
Scale: 6" = 1'-0"



1 D2: Parking Directional Blade—Placement Elevation
Scale: 1" = 1'-0"